



**North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary Susi H. Hamilton

Office of Archives and History
Deputy Secretary Kevin Cherry

February 23, 2017

MEMORANDUM

TO: Vanessa Patrick
Human Environment Unit
NC Department of Transportation

FROM: Renee Gledhill-Earley *Renee Gledhill-Earley*
Environmental Review Coordinator

SUBJECT: Improvement to US 70 from SR 1121(Garner Road) to the Neuse River Bridge
in James City, U-5713, PA 15-08-0021, Craven County, ER 15-0988

Thank you for your February 7, 2017, memorandum transmitting the report for the above-referenced undertaking. We have reviewed the submittal and offer the following comments.

The report includes sufficient information to evaluate the thirteen historic architectural properties located within the APE. We concur with the following evaluation and eligibility determinations outlined in the report as follows.

The National Register-listed Mt. Shiloh Missionary Baptist Church (CV2025) continues to retain the requisite integrity to remain listed in the National Register of Historic Places. Please note that in the table on page i of the report, the prefix for Carteret County has been used in the survey site number.

We concur that the:

- ◆ Pilgrim Chapel Missionary Baptist Church (CV0396);
- ◆ Jones Chapel AME Zion Church (CV1902); and
- ◆ Meadows Cemetery (CV2783)

are individually eligible for listing in the National Register of Historic Places. The description for each property includes the acreage of the parcel upon which the building is located. While not specifically stated in the report that the described parcels are the recommended National Register boundary for each property, given that the parcels appear to consist of the current tax parcels, each described parcel represents a justifiable National Register boundary.

The following properties are not eligible for listing in the National Register of Historic Places due to the loss of integrity, nature of the property type, and/or significance.

- ◆ The portion of the Atlantic and North Carolina Railroad Corridor (CV2567) within the APE
- ◆ Dudley House (CV2570)
- ◆ Dixie Fertilizer Plant (CV2603)
- ◆ Reform Shiloh Missionary Baptist Church (CV2606)
- ◆ Undenominational Pentecostal Holiness Church (CV2637)
- ◆ Neuse Forest Presbyterian Church (CV2759)

After preliminary research was completed for the Phase II study, it was found that the following three properties did not merit intensive study and a full National Register of Historic Places eligibility evaluation, as they were not historically associated with other buildings and are not considered significant for their architecture alone.

- ◆ House, 515 Elder Street (CV2583)
- ◆ House, 305 Scott Street (CV2566)
- ◆ House, 2209 Old Cherry Point Road (CV2753)

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-807-6579 or environmental.review@ncdcr.gov. In all future communication concerning this project, please cite the above referenced tracking number.

cc: Mary Pope Furr, NCDOT, mfurr@ncdot.gov



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION



ROY COOPER
GOVERNOR

JAMES H. TROGDON, III
SECRETARY

To: Renee Gledhill-Earley, NCHPO

ER 15-0988

From: Vanessa E. Patrick, NCDOT

Date: February 7, 2017

Subject: *Historic Structures Survey Report for U-5713, Improvements to US 70 from SR 1121 (Garner Road) to the Neuse River Bridge, Craven County, North Carolina. WBS No. 50111.1.1. PA Tracking No. 15-08-0021*

John Wood
2/28
ER letters

Due 3/1/17

The North Carolina Department of Transportation (NCDOT) is conducting planning studies for the above-referenced project. Enclosed for your review is a report presenting the evaluation of historic architectural resources in the U-5713, Craven County project area (one hard copy and one CD-ROM). Survey photographs, site forms, and GIS data are provided on CD-ROM, and hard copies of the survey site forms are also supplied.

The report considers thirteen individual resources. The study found that the Mt. Shiloh Missionary Baptist Church (CV2050) continues to deserve its National Register listing and recommends three additional resources – the Pilgrim Chapel Missionary Baptist Church (CV0396), Jones Chapel AME Zion Church (CV1902), and Meadows Cemetery (CV2783) -- as NR eligible. Initial screening of the U-5713 project area by New South Associates, Inc. for NCDOT Historic Architecture in March 2016 identified which resources warranted additional study.

We look forward to receiving your comments on the report. Should you have any questions, please do not hesitate to contact me at vepatrick@ncdot.gov or 919-707-6082. Thank you.

V.E.P.

Attachments

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Historic Structures Survey Report U.S. 70 from SR 1121 (Garner Road) to the Neuse River Bridge

Craven County, North Carolina

TIP No. U-5713
WBS No. 50111.1.1



NEW SOUTH ASSOCIATES, INC.

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**Historic Structures Survey Report
U.S. 70 from SR 1121 (Garner Road) to the Neuse River Bridge**

Craven County, North Carolina

TIP No. U-5713
WBS No. 50111.1.1

Report submitted to:
North Carolina Department of Transportation, Human Environment Section
1598 Mail Service Center
Raleigh, North Carolina 27699-1598

Report prepared by:
New South Associates
408-B Blandwood Avenue
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Mary Beth Reed – Principal Investigator

Ellen Turco – Historian and Author

January 31, 2017 • **Final Report**
New South Associates Technical Report 2643

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MANAGEMENT SUMMARY

The North Carolina Department of Transportation (NCDOT) proposes to improve U.S. 70 from SR 1121 (Garner Road) to the Neuse River Bridge in James City, Craven County, North Carolina (WBS No. 50111.1.1). This report complies with the requirements of Section 106 of the National Historic Preservation Act of 1966, as amended, other state and federal regulations, and NCDOT’s current *Historic Architecture Group Procedures and Work Products* and the North Carolina State Historic Preservation Office (HPO) *Report Standards for Historic Structure Survey Reports/Determinations of Eligibility/ Section 106/110 Compliance Reports in North Carolina*.

In March 2016, New South Associates, Inc. (New South) surveyed the project’s Area of Potential Effects (APE) for NCDOT and prepared a Phase I architectural survey. There were 221 resources 50 years of age or older documented with digital photography and GIS mapping. On July 19, 2016, the NCDOT and the NC HPO reviewed the inventoried resources and 13 that merited further investigation at the intensive-level. NCDOT subsequently requested that New South assess the National Register of Historic Places (NRHP) eligibility of the 13 resources. This report concludes that there is one NRHP-listed resource and three resources that are recommended eligible for the NRHP within the project APE.

Table 1. Resources Recommended Eligible

Survey Site No.	Resource Name	NRHP Eligibility Recommendation/Status	Criteria
CR 2050	Mt. Shiloh Missionary Baptist Church	Listed NRHP	Criterion C
CV 396	Pilgrim Chapel Missionary Baptist Church	Recommended Eligible	Criterion A
CV 1902	Jones Chapel AME Zion Church	Recommended Eligible	Criteria A & C
CV 2783	Meadows Cemetery	Recommended Eligible	Criterion A

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I. PROJECT DESCRIPTION AND METHODOLOGY

The North Carolina Department of Transportation (NCDOT) proposes to improve U.S. 70 from SR 1121 (Garner Road) to the Neuse River Bridge in James City, Craven County, North Carolina (TIP No. U-5713; WBS No. 50111.1.1). This project is subject to review under the *Programmatic Agreement for Minor Transportation Projects* (NCDOT 2009). NCDOT architectural historians established an Area of Potential Effects (APE) for this project pursuant to 36 CFR Section 800.4(b). The APE for this project lies within James City, beginning on U.S. 70 at SR 1121 (Garner Road) and running south approximately 2.5 miles north to the Neuse River Bridge. The APE is approximately 0.5 mile at its widest and encompasses Old Cherry Point Road on the east side of U.S. 70 and the historic North Carolina Railroad Company corridor on the west side (Figure 1).

In March 2016, New South Associates, Inc. (New South) surveyed the project’s APE for NCDOT and prepared a Phase I architectural survey report. There were 221 resources 50 years of age or older documented. Only three of the 221 resources within the APE had been previously surveyed and had records on at the North Carolina State Historic Preservation (HPO). On July 19, 2016, New South presented the survey results in a PowerPoint inventory format to the NCDOT and the North Carolina HPO. As a result of the presentation, the North Carolina HPO and NCDOT 13 resources that merited intensive study and National Register of Historic Places (NRHP) evaluation (Figure 2). NCDOT requested New South study the 13 resources

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Table 2. Resources Identified for Intensive Study

Survey Site No.	Resource Name
CV 396	Pilgrim Chapel Missionary Baptist Church
CV 1902	Jones Chapel A.M.E. Zion Church
CV 2050	Mt. Shiloh Missionary Baptist Church
CV 2566	House, 305 Scott Street*
CV 2567	Atlantic and North Carolina Railroad Corridor
CV 2570	Dudley House, 310 Scott Street
CV 2583	House, 515 Elder Street*
CV 2603	Dixie Fertilizer Plant
CV 2606	Reform Shiloh Missionary Baptist Church
CV 2637	Undenominational Pentecostal Holiness Church
CV 2753	House, 2209 Old Cherry Point Road*
CV 2759	Neuse Forest Presbyterian Church
CV 2783	Meadows Cemetery

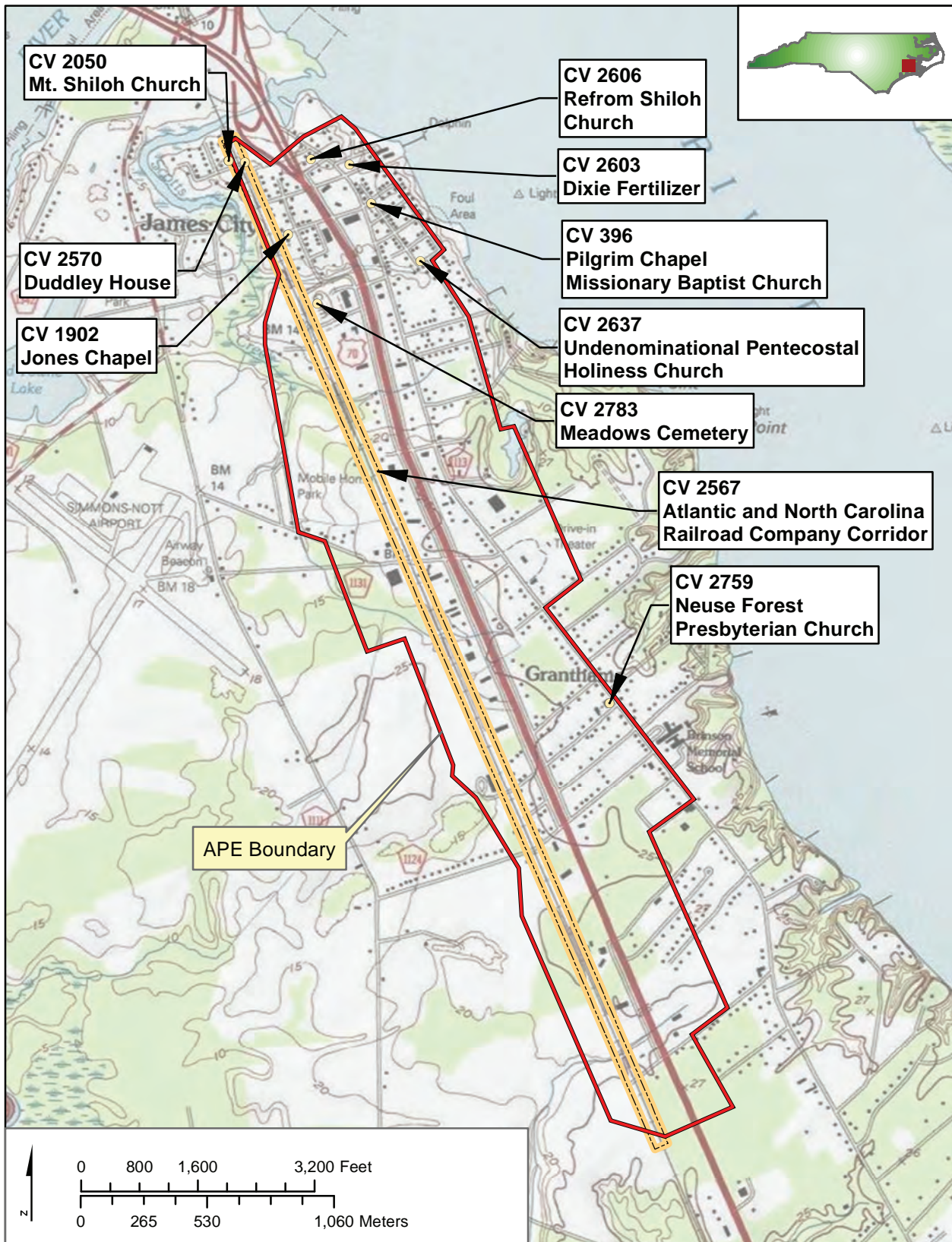
* Resources dropped from full evaluation (see Page 4)

Figure 1. Project Area of Potential Effects



Source: 1980 USGS New Bern, North Carolina Quadrangle

Figure 2. Location of Resources Identified for Intensive Study



Source: 1980 USGS New Bern, North Carolina Quadrangle

After preliminary research was completed for the Phase II study, New South recommended that three (CV 2583, CV 2566, and CV 2753) of the 13 resources for study (see Table 2) did not merit intensive study and a full NRHP evaluation. The NCDOT and the HPO determined CV 2583 and CV 2566, both residences, to be worthy of intensive survey and NRHP evaluation *only if* research that they were associated with the churches adjacent to them, perhaps as clergy housing. Resource CV 2753, also a house, was to be intensively surveyed *only if* it was determined to be associated with the Brinson Memorial School across from it on the east side of Old Cherry Point Road. Deed research, Sanborn maps, and informants established that CV 2583, CV 2566, and CV 2753 were not historically associated with other buildings. Therefore, these resources are not described or evaluated in this report since they are not considered for their architecture alone.

New South senior architectural historian Ellen Turco visited James City on October 25 and 26, and November 21, 2016 to undertake Phase II and conduct research and informant interviews. Resources were visually inspected and building exteriors, associated outbuildings, and settings were documented through written notes and digital photographs. Interior photographs were taken with the property owner's permission, which was not obtained in all cases. A number of sources were used to develop background history and historical and architectural contexts for the resources. The survey publication, *The Historic Architecture of New Bern and Craven County* (Sandbeck 1998) and *James City: A Black Community in North Carolina, 1863-1900* (Mobley 1981) were the main published sources for the area's history and architectural context. Research was conducted at the North Carolina HPO, the Kellenberger Room of the Craven County Library, and online at the Craven County Register of Deeds, Ancestry.com, and the North Carolina Maps collection hosted by the University of North Carolina at Chapel Hill. Interviews were conducted with local resident and Reform Shiloh Church parishioner Emma Bell; 310 Scott Street owner, April Ashbrook; Dixie Fertilizer Plant Manager, Wade Lamb; and Wallace Grimes, pastor of the Undenominational Pentecostal Church. The historical development, architecture, and cultural of each resource was assessed and evaluated within its respective context according to the established NRHP criteria.

Historical background for the project area and NRHP assessments are presented in the report in the chapters that follow. Additional history to each resource is included in the eligibility assessments. Where appropriate, comparable properties are described in the eligibility assessments.

II. SETTING AND HISTORY OF PROJECT AREA

SETTING

James City is located at the confluence of the Neuse and Trent rivers in Craven County. The unincorporated community is situated on the south bank of the Trent River and the west bank of the Neuse River. James City's urban neighbor to the north is New Bern, the county seat and one time state capitol. The APE encompasses two developmental areas. At the north end is "New James City," a historically African American residential area established after 1891 that was a successor to the original James City freedman's community established in 1863. This area remains predominately African American in population with a diminishing number of residents descended from the freedmen who migrated to the area during the Civil War and Reconstruction periods.

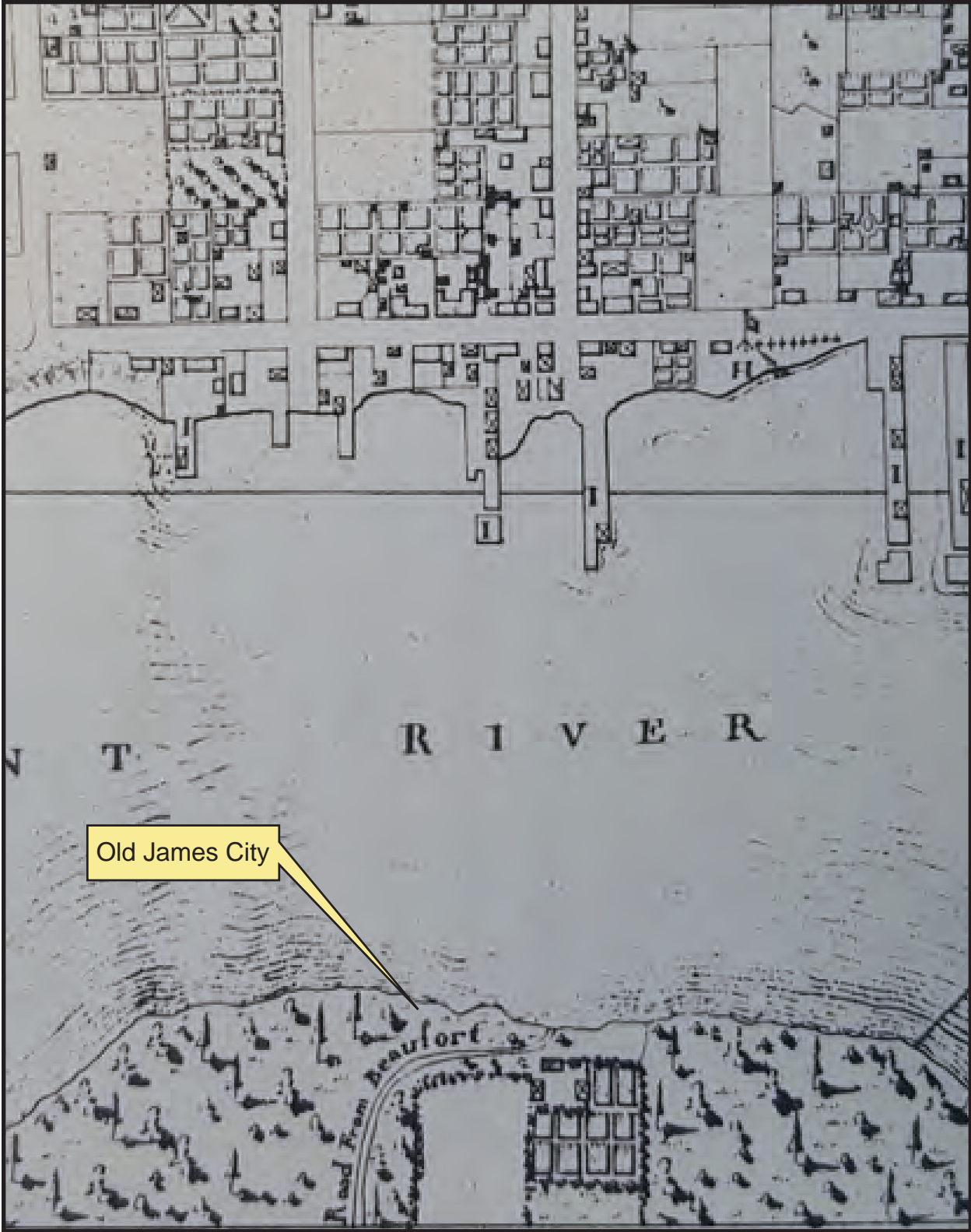
South of Williams Road, New James City morphs into the unincorporated community of Grantham, named after a white New Bern businessman with agricultural holdings in this area. The community developed between the 1920s and the 1970s and was predominantly white. This area is intensely commercial along U.S. 70. Its historical commercial core is along Old Cherry Point Road, which was the original route of U.S. 70 and the main road to points south prior to the construction of the improved U.S. 70 in the 1960s. Grantham, also known as Neuse Forest on the east side of U.S. 70, contains a few houses from the 1920s and 1930s but is mostly comprised of 1950s, 1960s, and 1970s brick Ranch houses. Riverside vacation homes fronting the Neuse River are just outside of the east APE boundary. On Old Cherry Point Road, there is a 1967 post office, a 1960s abandoned service station, two gas stations, the 1957 Neuse Forest Presbyterian Church (CV 2759), and the Brinson Elementary School. Another principal feature of the APE is the North Carolina Railroad Company Corridor, which runs its length from north to south on the west side of modern day U.S. 70. It is important to note that the entire project area was impacted socially, architecturally, and physically by the construction of U.S. 70 in the early 1960s.

HISTORY

The James City area (the community was not called James City until 1863) is depicted on the south edge of eighteenth-century maps, suggesting that the most substantial towns, forts, and plantations were north of New Bern. Claude J. Sauthier's "1769 map of Newbern," made four years after New Bern was named the colonial capital in 1765, shows the northern tip of the Trent-Neuse peninsula as forested with a small gridded area containing fewer than 15 buildings (Figure 3). The old Beaufort Road leads south from the grid. Sauthier's map is not clear whether the gridded area was

Prior to 1863, the northern tip of the Trent-Neuse peninsula belonged to Richard Dobbs Speight and his descendants. Speight was the North Carolina delegate to the Federal Constitutional Convention in 1787 and the state's governor from 1792-1795. Speight was killed in a duel in 1802. The 1808

Figure 3. Section from the Plan of the Town of Newbern, Drawn by Claude J. Sauthier, 1769. Reproduced from *The Historic Architecture of New Bern and Craven County, North Carolina*.



Price-Strother map of North Carolina shows Speight's plantation, Clermont, at the of the Trent River and Brice's Creek (Figure 4). The land remained under the ownership of Speight heirs until 1860, when 1,800 acres were purchased by the Evans family (Phelps et al. 1979:9). In 1862, the land was from Confederate Colonel Peter Evans by the Union army after the capture of New Bern (Mobley 1981:23–24). The taking of the property from Evans would

In 1858, the Trent-Neuse peninsula was traversed by the Atlantic and North Carolina Railroad (A&NC). This public-private concern was chartered by the state in 1854. Construction was completed between Morehead City and Goldsboro in 1858. The line linked the port at Morehead City with the larger North Carolina Railroad (NCR) system as well as to Virginia and South Carolina. Today the tracks through the APE are owned by the NCR and follow that of the 1858 corridor. A map from 1878 shows the tracks bisecting the James City area, as "Hayti" but do not show a depot or other ancillary railroad features in the James City area (Figure 5). The 1870 Census lists six railroad workers residing in James City. In 1880, two were listed (Wheaton and Reed 1989:51, 56). These are not numbers given James City's 1870 population of 1,500. Rail did not have a impact on the economy of James City, except that it supported local white-owned business ventures, particular lumbering, that employed many James City residents. The railroad's physical presence through the center of the community would have been hard to ignore.

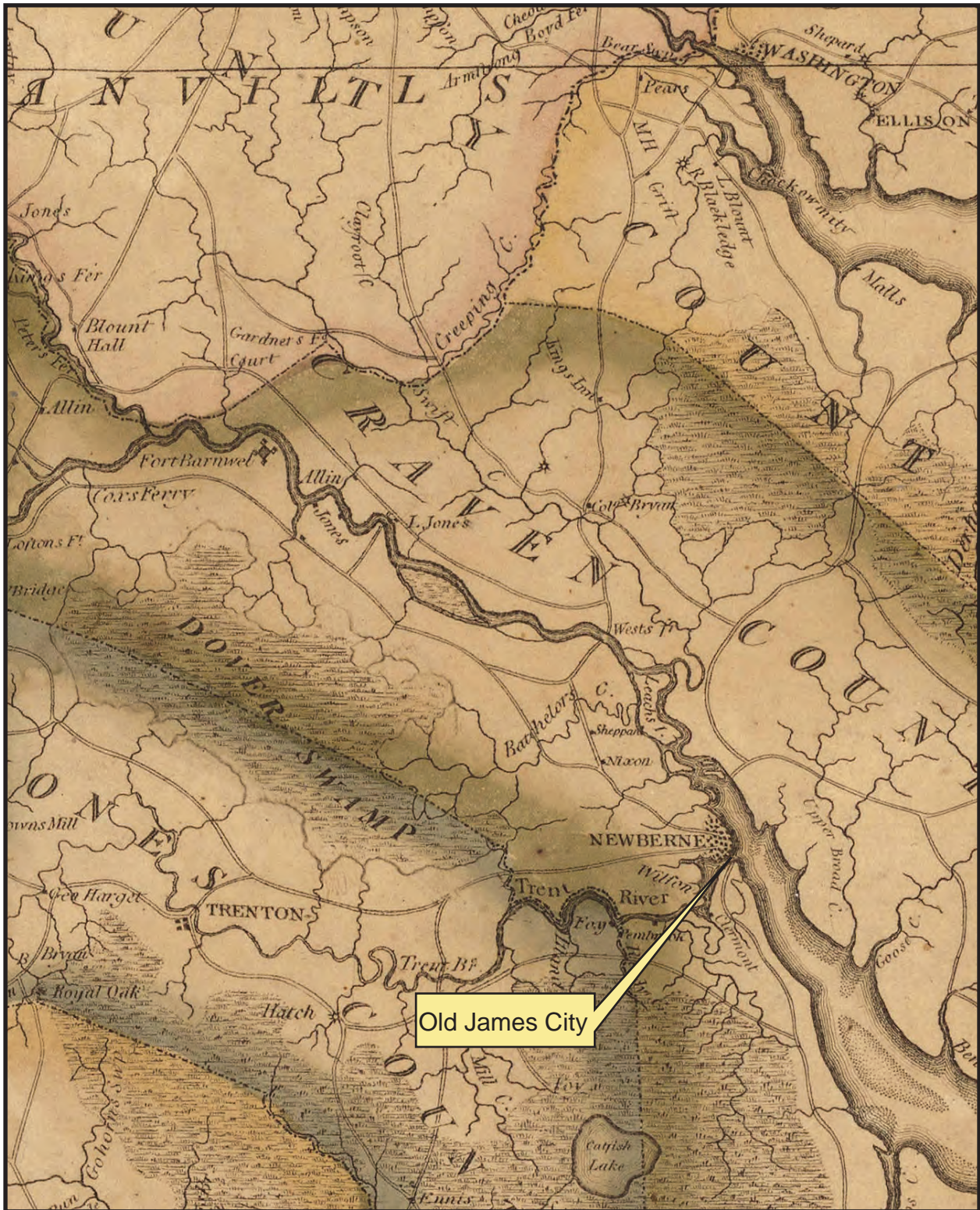
James City would not exist if not for the Civil War and the Union occupation of New Bern. The Union Army seized New Bern in March 1862 and held the city for the duration of the war. New Bern was a strategic target for Union General Ambrose Burnside's campaign to capture Confederate ports and railroad lines. The campaign's purpose was to disrupt Confederate transportation networks and provide safe ports for Union blockade ships operating along the coast. The campaign was successful and resulted in Union control of the North Carolina coast from Morehead City north to Virginia (Brent 2001:8:6).

Confederate engineers designed a series of obstacles to stop Union forces before they reached New Bern. Confederate General Lawrence O'Bryan Branch, commander of the District of the Pamlico, focused his limited supplies, weapons, and manpower along the Neuse River in expectation of an attack from the water. Four coastal forts were erected on the west bank of the Neuse River, south of New Bern (Figure 6)¹. Terrestrial defenses were minimal and consisted of the Croatan Line of earthworks about 10 miles south of New Bern at Fort Dixie and the Fort Thomson Line of earthworks about three miles south of New Bern. The Fort Thomson Line ran west from the fort on Neuse River, crossed the A&NC railroad tracks and Wood's Brickyard, and ended at Bullen's Branch (Brent 2001:7:1-7:4).

Burnside's forces landed at Slocum Creek three miles south of the Croatan Line on March 13, 1862. The 35th North Carolina Infantry could offer no serious resistance and the Croatan Line

¹ Archaeology, no studies have been undertaken to determine if these forts remain.

Figure 4. Section from *The First Actual Survey of the State of North Carolina*, by Jonathan Price and John Strother, 1808



Source: North Carolina Maps.

Figure 5. U.S. Coast Survey, 1878



Source: North Carolina Collection, UNC-Chapel Hill.

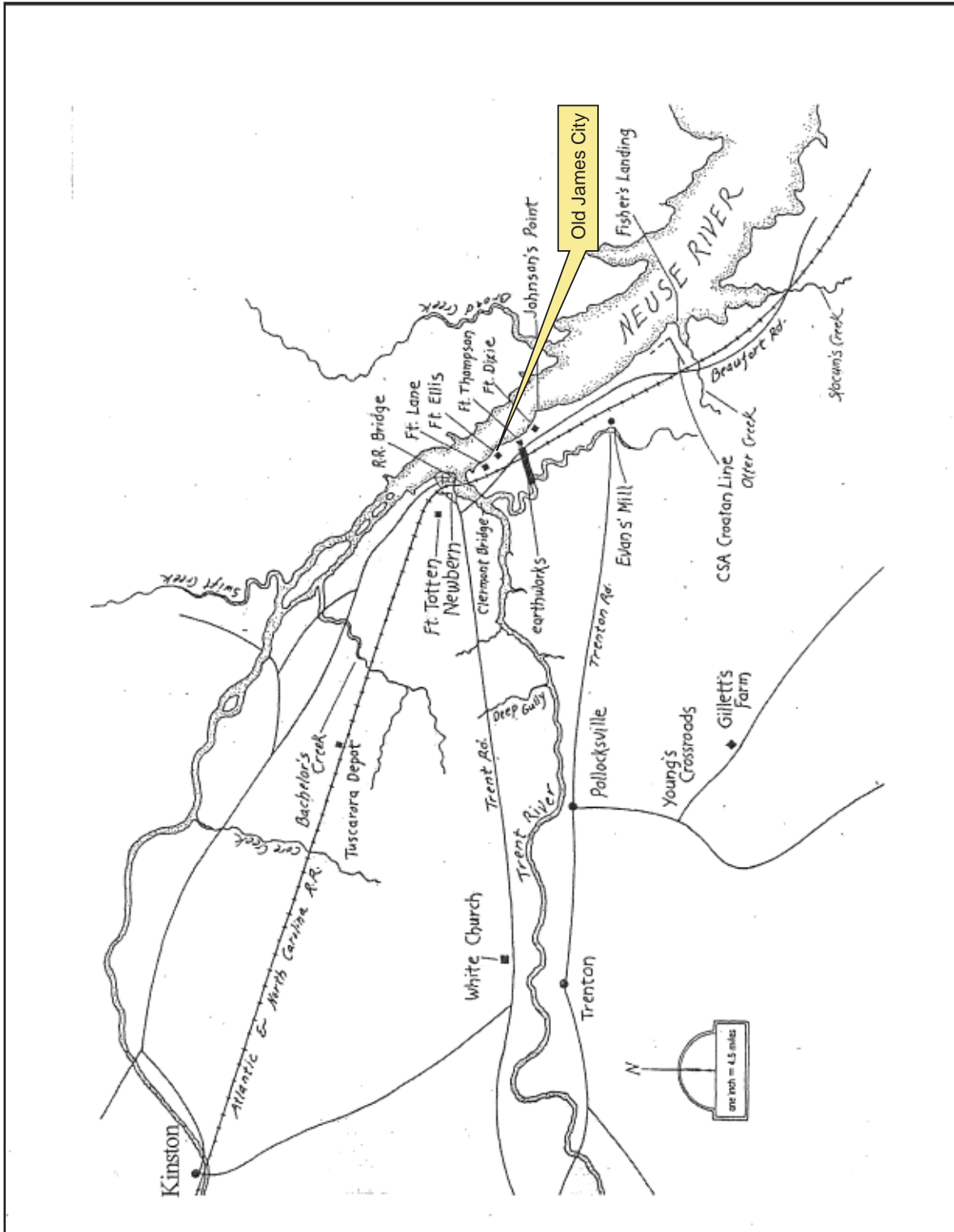


Figure 6. Map of New Bern Defenses. Source: *Battle of New Bern National Register of Historic Places Nomination Form*.

and Old Beaufort Road leading to New Bern were easily captured. The next day 10,000 Union troops advanced north toward New Bern and 5,000 Confederate soldiers waiting at the Thompson Line. A battle ensued. Branch had not Wood's Brickyard and the Union soldiers were able to march north along the railroad corridor to this weak point. Once the center of the line was breached at the brickyard, the Confederate line to the east and west could no longer hold and the Battle of New Bern ended with the Confederates retreating to Kinston (Brent 2001:8:6-8:14). To commemorate the battle, the New Bern Site (CV 2055) was listed on the NRHP in 2001. APE.

New Bern remained occupied by the Union for the rest of the war. President Abraham Lincoln declared "no slave who once comes within our lines as a fugitive from a rebel, shall ever be returned to his master" (Mobley 1981:4). With this, bondsmen from the countryside saw the place as a safe haven and into the city. Prior to the war, New Bern had a substantial number of free black craftsman and artisans (Bishir and Southern 1996:188). The population of fugitive slaves in New Bern was 7,500 in 1862 in contrast to the city's total population of 5,432 in 1860 (U.S. Census Bureau 1860; Mobley 1981:5). By 1864, the African American population had grown to 8,591 (Mobley 1981:25).

A series of individuals were appointed by the federal government to oversee the employment and care of the formerly enslaved men, women, and children into New Bern. Vincent Coyer, John G. Foster, and Horace James served as "Superintendent of the Poor" and "Superintendent of Negroes" and under various other titles responsible for the refugee population. Many formerly enslaved African Americans worked for pay building military and assisting the Union army. Others worked locally as domestics, unskilled laborers, and in other trades. Churches, schools, and hospitals were also established. These institutions would be relocated to James City.

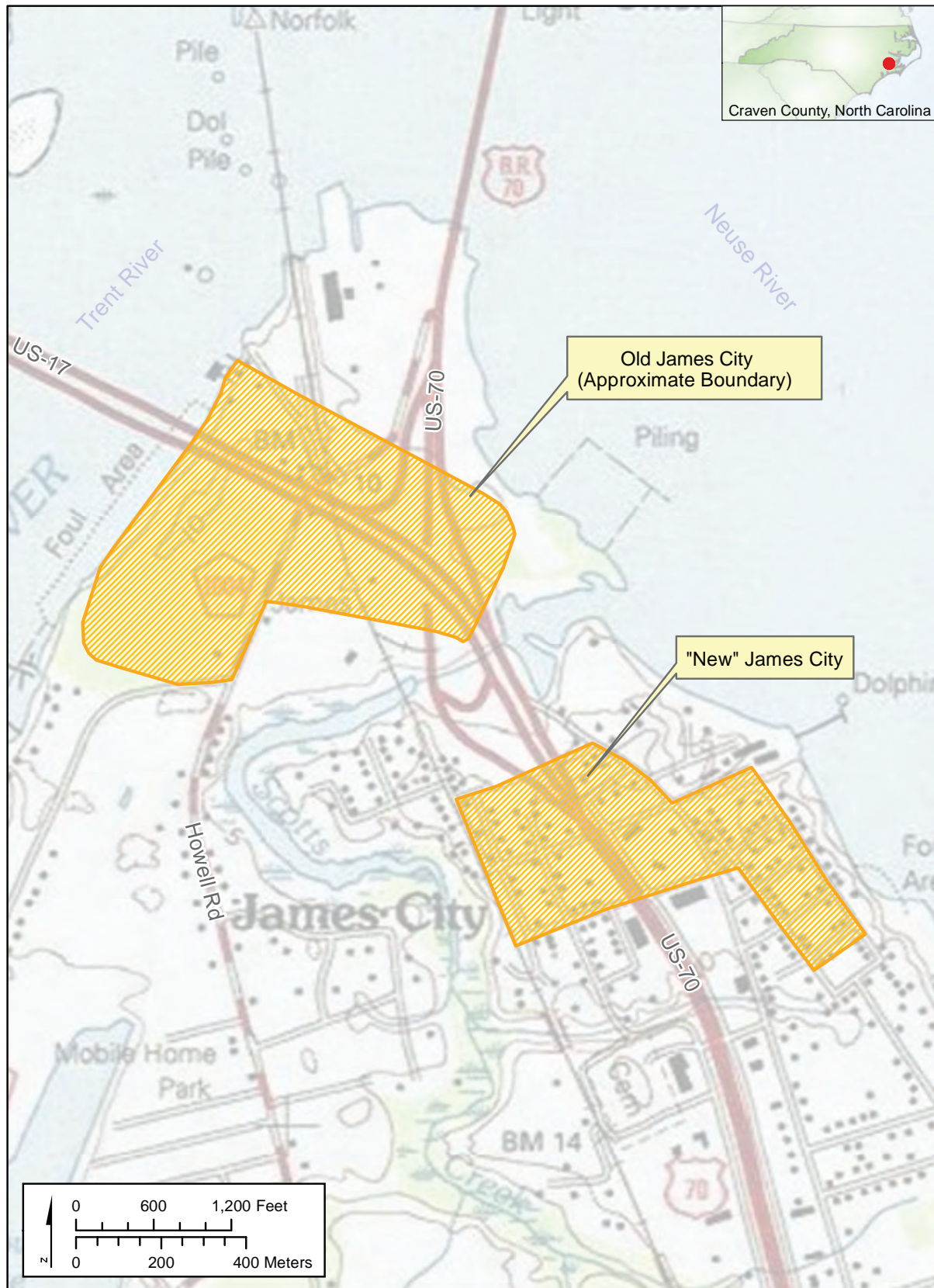
To ease New Bern's burgeoning population, Horace James established a slave refugee camp south of New Bern at the northern tip of the Trent-Neuse peninsula in 1863. James later wrote, "Streets were run out, and lots assigned, feet by sixty, allowing a little garden spot to each house" (Mobley 1981:24). The camp's 800 small houses were built of "shakes" or "slabs," short, hand-split boards approximately feet in length (Mobley 1981:24). This type of construction was perceived as impermanent and substandard. It may have been one factor in the community's relocation south after about 1900 to black-established subdivisions of "modern" speculative housing. The camp was known as the "Trent River Settlement" and sometimes referred to as "Slab Town." It was made permanent and renamed James City in honor of its founder. The community grew to 3,000 residents by the close of the Civil War. Residents worked as domestics or on the skilled trades in New Bern, in agriculture, or in local industries such as or lumbering. James City had factories, churches, schools, a hospital, and markets --all of the institutions typically found in a small city.

James City history and that of its churches is intertwined. Churches were among the and most enduring institutions established in James City as they not only guided religious life, but were centers of the community's social and educational life as well. Horace James wrote there were churches in James City in 1863, the year James City was established. Present day "descendent" congregations that can be traced to the earliest years of James City are Pilgrim Chapel Missionary Baptist Church (CV 396), Jones Chapel AME Zion Church (CV 1902), and Mt. Shiloh Missionary Baptist Church (CV 2050), all established in 1863. Reform Shiloh Missionary Baptist Church (CV 2606) was an offshoot of Mt. Shiloh and was founded in the 1890s.

During the Civil War and immediately afterwards, black and white missionaries from the Baptist, Methodist, AME Zion, and AME denominations traveled through the South encouraging the establishment of independent black churches. There is evidence that these missionaries had an impact in New Bern because a large number African American people left the city's white congregations to form their own churches during the 1860s and 1870s (Baker 1992:2-3). St. Peter's (CV 1868) in New Bern, founded in 1864, was the AME Zion congregation established in the South. After the war, the AME Zion Church took over the role played by the Freedmen's Bureau, and the local body bestowed support to James City residents. The Old Eastern Missionary Baptist Association, a regional association of missionary Baptist churches that is still active, was organized in New Bern in 1869. By then, Pilgrim Chapel and Mount Shiloh had

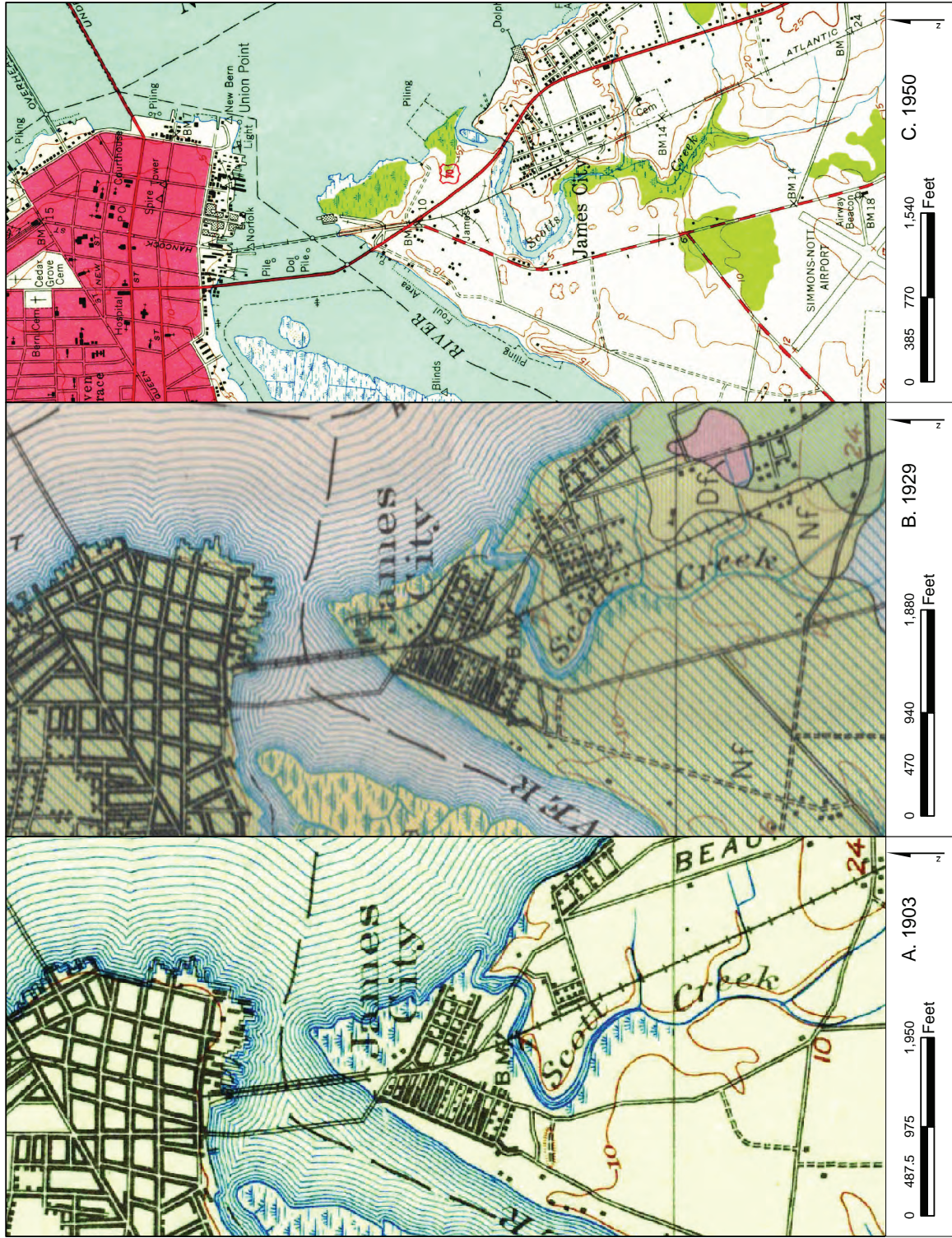
The James City, at the northern tip of the peninsula, was short-lived. The federal government had created the gridded encampment on land from Confederate colonel Peter Evans. Legal actions resulting from that initial "taking" of private land dragged on through late 1880s. The case, *Bryan v. Spivey*, was ultimately decided by the North Carolina Supreme Court in 1891. James A. Bryan, who had acquired the land from Peter Evans' heirs, was awarded the land. Since the residents of James City were now legally blocked from obtaining titles to their homes and businesses, they began to migrate from the original James City site. After 1891, the community began to shift south of Scott's Creek to newly established subdivisions, known as Graysville, Meadowsville, Brownsville, and Leesville. Within these subdivisions the African Americans of James City could purchase land and erect homes, thus ensuring their continued presence in a way not possible at the original settlement site. These subdivisions coalesced and became known as "New James City" and their street patterns are evident within the survey area (Figures 7-8). This population shift and the community's desire for self-determination roughly coincided with the advent of the Jim Crow racial segregation laws of the late 1890s. As the population shifted south, the community's churches were transplanted as well. Religious institutions seem to be among the last to make the move following the residential population. Perhaps this illustrates the powerful connection between these institutions and the hallowed ground of old James City. By 1910, two of the three descendent congregations were working on plans for building in the new James City.

Figure 7. Map Illustrating the James City Settlement Site and New James City.



Source: USGS Topographic Quadrangle Map, New Bern, NC (1983)

Figure 8. Map Illustrating Changes to Old and New James City Between 1903 and 1950.

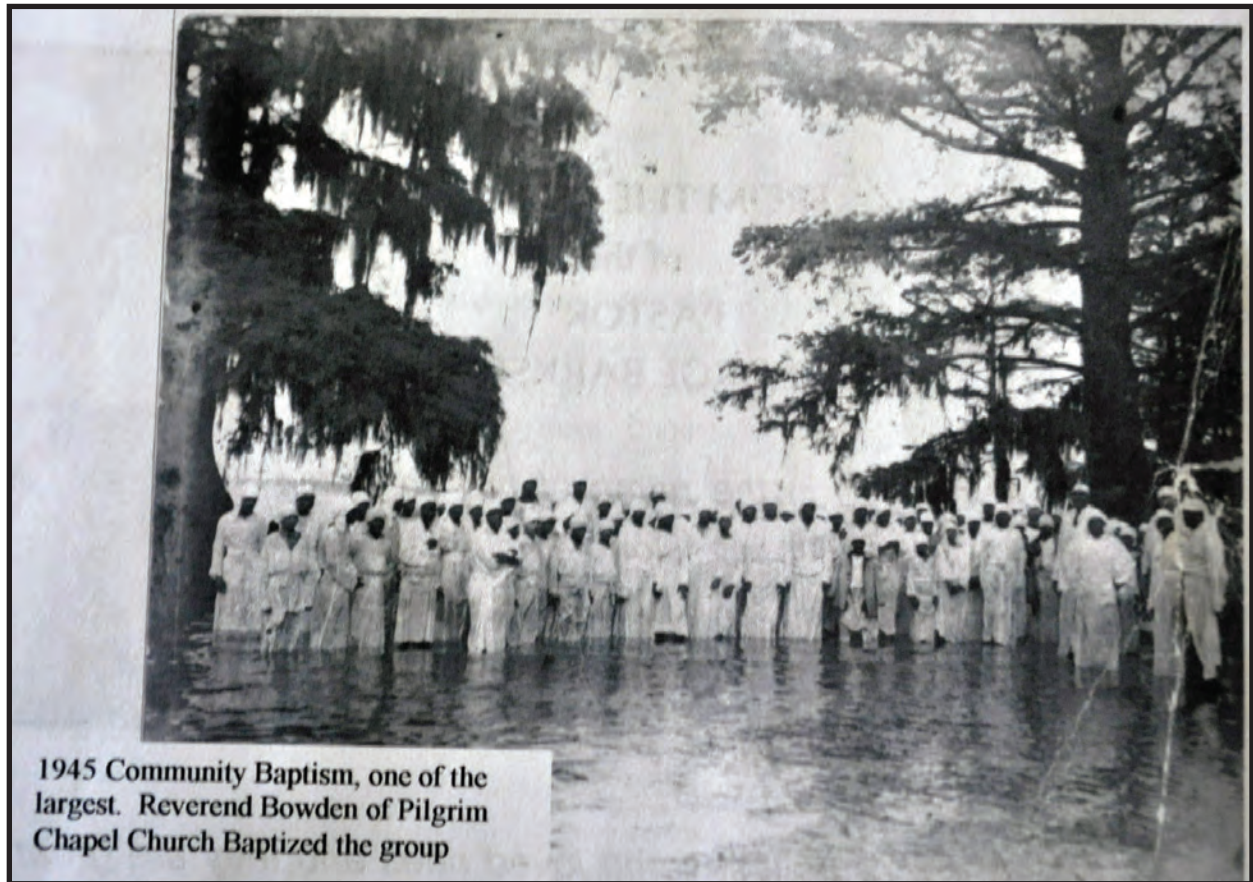


Twentieth-century James City is remembered as a highly social, close-knit community where families looked out for one another. Community life revolved around the four legacy churches. Group baptisms in the waters of the Neuse River attracted large groups of celebrants (Figure 9). These events were followed by outdoor community suppers. Ninety-year-old Emma Boyd Bell recalls that food was plentiful, even during the Depression. Residents raised hogs and caught from the rivers, which were dried in houses on the banks of the Neuse River. Virtually every family had a small, but abundant, garden plot with sweet potatoes, corn, peas, and other vegetables (Bell 2014). Some women continued the tradition of domestic work in New Bern, walking the train trestle to work or riding in on their own small personal boats. After the mid-1880s, ferry service and the Clermont Bridge linked the two communities (Baker 1993:22). Other women worked as teachers in the James City School. Men had ample opportunities for employment in the many industrial facilities on the banks of the Trent and Neuse rivers. Sanborn maps show the following manufactories in James City between 1893 and 1924: Wood Working Machinery, New Bern Lumber Company, Mills Lumber Company, Carolina Paper Pulp, Co., The East Carolina Lumber Corp, Meadows Fertilizer Company, Blades Lumber Company, Sullivan Saw Mill, Roper Lumber Company, Virginia and Carolina Chemical Company Fertilizer Works, Clarks Lumber Company, and the Millet Lumber Company. At the end of life, residents were buried in one of the community's two racially segregated cemeteries, the Meadows Cemetery (CV 2783) or the Bryan Cemetery (31CV25) on the Coastal Carolina Regional Airport parcel. These are referred to locally as the "near" and "far" cemeteries respectively (Phelps et al. 1979:10).¹ The Meadows Cemetery is still actively used.

A series of local and world events in the middle of the twentieth century conspired to decrease James City's population and its historic appearance. Area forests were depleted by about 1940, bringing the lumber and wood milling industries to a halt. During World War II, men left the community to join the service and women left to work. Many of these residents never returned. The Marine Corps leased the Simmons-Nott Airport (now Coastal Carolina Regional Airport), which had been dedicated in 1931, to serve as a temporary outlying for the Air Station at Cherry Point (Phelps et al. 1979:11). The statewide school consolidation movement that began in the 1920s coupled with racial desegregation efforts of later decades led to bussing and a loss of community identity. Most recently, the construction of the new U.S. 70 took over approximately 260-foot of right-of-way from the community, demolished numerous buildings and separated its east and west sides. The highway ramps north of the project area have further eroded the setting. Ms. Bell noted that in recent years, dwellings have been demolished due to neglect or issues related to inheritance. James City remains an unincorporated community of Craven County.

² Local resident Emma Bell recalled a third cemetery in the community near her current home at the corner of Plum Street and Old Cherry Point Road. She said the cemetery was removed during a road-building project, perhaps the construction of the U.S. 70 cloverleafs or earlier improvements to Old Cherry Point Road when it served as U.S. 70. Ms. Bell believes the cemetery was a white burial ground and stated that it had obelisk grave markers.

Figure 9. 1945 Photograph of a Reform Shiloh Church Baptism Ceremony in the Neuse River



1945 Community Baptism, one of the largest. Reverend Bowden of Pilgrim Chapel Church Baptized the group

Source: Records of the James City Historical Society Oral History Project, Kellenberger Room, Craven County Public Library.

III. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

A. RESOURCES LISTED IN THE NATIONAL REGISTER

MT. SHILOH MISSIONARY BAPTIST CHURCH (NCDOT SURVEY #3)

Resource Name	Mt. Shiloh Missionary Baptist Church
HPO Survey Site #	CV 2050
Location	307 Scott Street, James City
PIN	7-005-0613
Date(s) of Construction	1924; 1970
Recommendation	Remains Eligible for the NRHP Under Criterion C

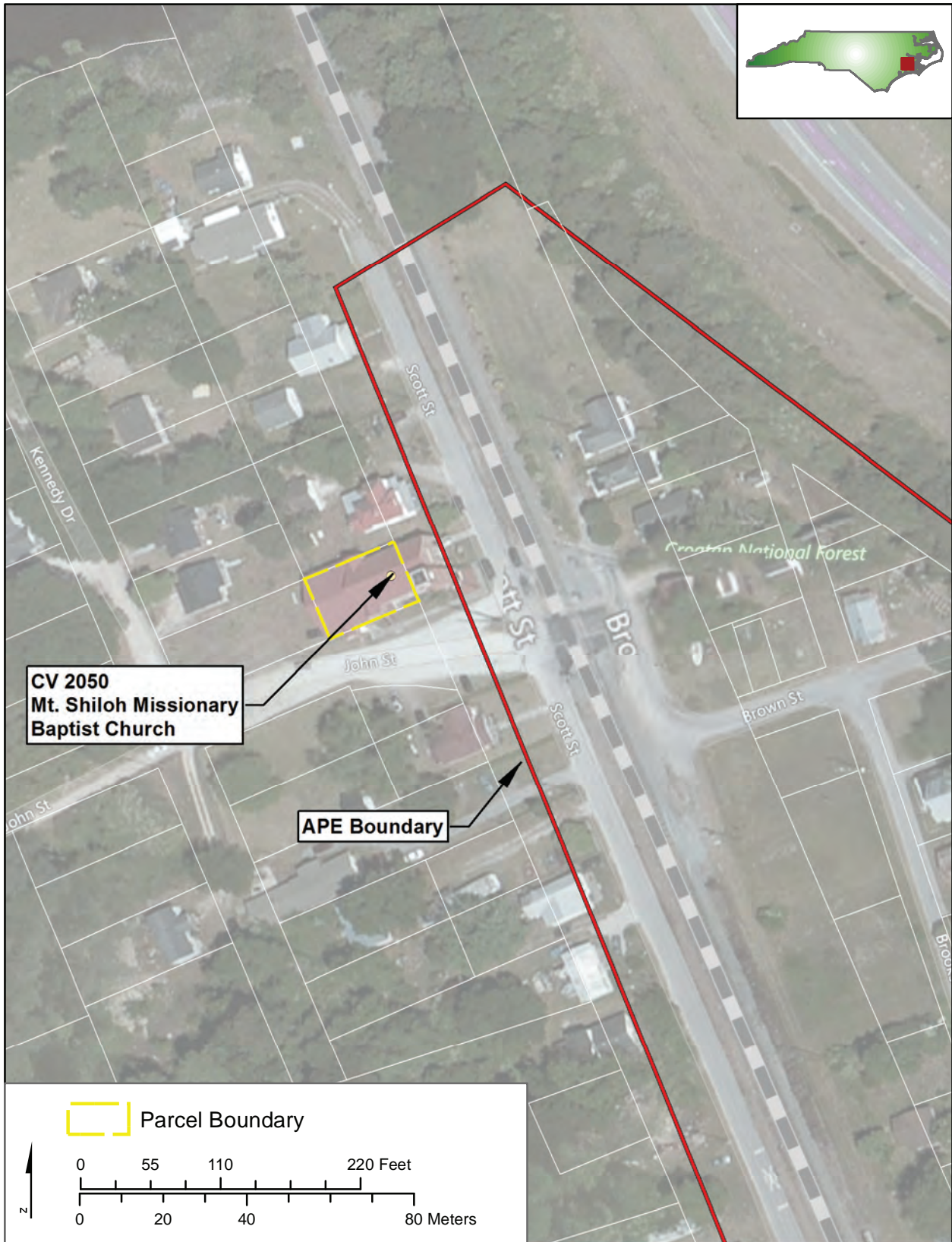


Description

Mt. Shiloh Missionary Baptist Church faces east at the northwest corner of the intersection of Scott and John streets in the Brownsville subdivision on the west side of U.S. 70 in James City (Figure 10).

This Gothic Revival-style American bond brick church is a front-gable building with a tall projecting tower at the southeast corner. The one-story, 4x6-bay building features decorative brickwork with pilasters between and corbeling above each bay. Decorative stained glass is set within lancet-arched window openings. These openings are paired on the second story of the façade and at the top of the tower. There are four lancet-arched entries. Brick steps access the two primary entries on south and east sides of the tower. There is an entry with a handicapped lift at the northeast corner of the façade and a rear entry set in a parapeted cross wing on the south elevation. A brick classroom addition was added to the rear of the church building in the 1970s. The roof is covered with red standing seam metal.

Figure 10. Mt. Shiloh Missionary Baptist Church Location



Source: Bing Aerial Photography

The interior was not accessed for this evaluation. What follows is adapted from the 2006 NRHP nomination report (Van Dolsen 2006:7:2). The sanctuary is accessed by a foyer in the entrance tower. The sanctuary is dominated by a broken-pitch, tin-covered ceiling, which gives the impression of a Gothic arch. At the west end of the sanctuary is an elevated chancel and at the east end is a balcony. Separating the chancel from the sanctuary are a curved balustrade and a neoclassical screen with paired Doric-style columns. The walls of the sanctuary are covered in manufactured beaded board above a simple chair rail and vertical boards below. The wood is covered in carpet.

History

The text that follows is summarized from the 2006 NRHP nomination report and greater detail is provided there (Van Dolsen 2006:8:3-8:5). Reverend Hurley Grimes founded Mt. Shiloh Missionary Baptist Church in 1863. The church was known as the Mount Shiloh First Baptist Church, and was located on Ford Street in the Old James City. It is not known if the church was founded as a missionary Baptist congregation or if it converted to the denomination after its founding. The current building was erected in the Brownsville section of New James City in 1924. It was built, and most likely designed, by local African American carpenter Samuel Chapman Elliott.

Integrity and Evaluation

Mt. Shiloh Missionary Baptist Church was listed on the NRHP in 2007 under “Criterion C for architecture as an excellent local example of a Gothic Revival-style church... The Church also meets Criterion Consideration A (for religious properties) since its lies in its architecture. The period of is for the year of its construction, 1924” (Van Dolsen 2006:8:3). The NRHP boundary corresponds with tax parcel PIN 7-005-0613. The church is the only building on the parcel.

The exterior of Mt. Shiloh Missionary Baptist Church remains unchanged since it was listed on the NRHP in 2007. The interior of the building was inaccessible; however, no clues were observed to suggest the interior has undergone changes since 2007. *The church retains the physical characteristics that qualified it for listing in the NRHP, and no change is recommended to its NRHP status.*

B. RESOURCES RECOMMENDED ELIGIBLE FOR THE NATIONAL REGISTER

PILGRIM CHAPEL MISSIONARY BAPTIST CHURCH (NCDOT SURVEY #1)

Resource Name	Pilgrim Chapel Missionary Baptist Church
HPO Survey Site #	CV 396
Location	313 Elder Street, James City
PIN	7-006-129
Date(s) of Construction	1915; 1958; circa 1967; 1985
Recommendation	Eligible for the NRHP Under Criterion A

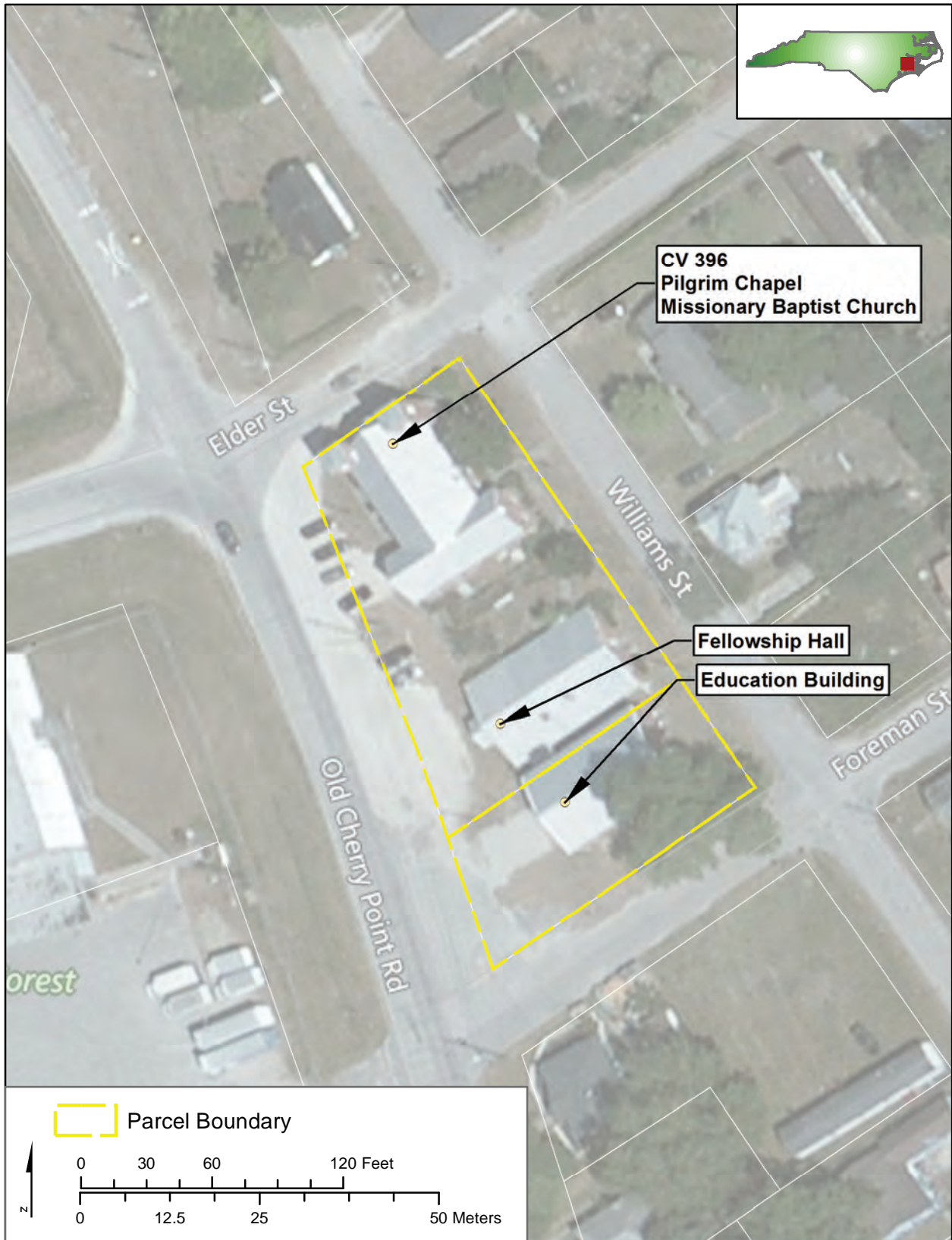


Description

Pilgrim Chapel Missionary Baptist Church faces northwest on a 0.44-acre parcel on the south side of Elder Street in the Graysville subdivision on the east side of U.S. 70 in James City (Figure 11). Three buildings occupy the site: the church, the Fellowship Hall, and the Education Building. Parking is on an unpaved area on the west side of the church.

The Pilgrim Chapel Missionary Baptist Church was erected in 1915 and remodeled in 1958. It is a brick veneered, front-gable building with a rear cross wing (Figures 12 and 13). The façade consists of two square, corner towers of unequal heights and a pedimented portico supported by four, square posts. The face of the pediment is covered in vinyl weatherboard siding. One diamond-shaped louvered vent is in the church's front gable above the portico. Rectangular vents

Figure 11. Pilgrim Chapel Missionary Baptist Church Location and Site Plan



Source: Bing Aerial Photography

are in the towers and rear cross wing. Pointed arch windows are on the sides of the church and rectangular windows are across the front and on the rear cross wing (Figure 14). The windows contain stained glass depicting Christian themes such as Noah's Ark, the baptism of Jesus, and the (Figures 15-17). The glass replacement front entry doors have an elliptical stained glass window above them that reads "Pilgrim Chapel" (Figure 18). The roof is standing seam metal. The church sits on a continuous brick foundation.

The interior was inspected but not photographed. Faux wood paneling covers the walls of the front entry vestibule. Floors throughout the building are carpeted. A set of modern glazed metal doors leads to the sanctuary. The broken pitch ceiling is covered with acoustical tiles. The original pews have been replaced with newer wood ones. The walls are covered with smooth drywall.

South of the church is the circa 1967 Fellowship Hall, a brick one-story, rectangular front-gable building with a central single bay entry porch on scrolled metal posts on the west side (Figure 18). The windows are 6/6 metal sashes. The roof is standing seam metal.

A or links the Fellowship Hall with the circa 1985 Education Building to the south (See Figure 18). This brick building also has a one-story, rectangular front-gable form. The central entry, also on the south side, consists of two double-leaf glass doors under a single-pane transom. The windows on the façade are paired 6/6 vinyl sashes. There is one 6/6 window in the front gable.

Figure 12. Pilgrim Chapel Missionary Baptist Church, Northwest and Southwest Sides



Figure 13. Pilgrim Chapel Missionary Baptist Church, Northeast Side



Figure 14. Pilgrim Chapel Missionary Baptist Church, Southeast Side



Figure 15. Pilgrim Chapel Missionary Baptist Church, Stained Glass Window on Southwest Side



Figure 16. Pilgrim Chapel Missionary Baptist Church, Southeast Side, Stained Glass Window on Southwest Side



Figure 17. Pilgrim Chapel Missionary Baptist Church, Southeast Side, Stained Glass Window on Southwest Side

Figure 18. Pilgrim Chapel Missionary Baptist Church Fellowship Hall (Left) and Education Building (Right), West Sides



History

Pilgrim Chapel Missionary Baptist Church is a descendent congregation of a church founded by African Americans at or just after the establishment of the James City settlement camp in 1863. Other surviving descendent congregations in James City are Mt. Shiloh Missionary Baptist Church, and Jones Chapel AME Zion Church. Pilgrim Chapel was known as “slab chapel” due to the original building’s construction from scrap lumber (James City Oral History Records 2014a). The decades after the *Bryan v. Spivey* case saw the residents of the original James City settlement site move south to newly platted subdivisions. This short-distance migration of residents was pretty much complete by 1910 and in 1915, the congregation completed a new church building in the Graysville section of new James City.

It is not known when the church adopted its current name. The newly erected building with its prominent corner towers was an improvement over the “slab” chapel and perhaps its completion was cause for a new and more name. This building was completely remodeled in 1958 under the guidance of Reverend Dickerson. The remodeling included the current brick veneer that covers the exterior. The Fellowship Hall was built in 1967. At least three James City churches are known to have undergone upgrades in the 1960s, suggesting the churches continued to be vibrant centers of local social life in this decade. The brick education building was erected around 1985.

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. Pilgrim Chapel Missionary Baptist Church remains on its original site on Lot No. 3 in the African American subdivision of Graysville in new James City. The church retains its setting, feeling, and historic associations with the community. The church retains its original form and massing, and most importantly, the unequally sized front towers characteristic of church buildings built by African American congregations. Also intact are the Gothic-arched window openings of the side elevations. The brick veneer placed on the building in 1958 is an alteration, although one that was commonly made by both black and white congregations to improve and modernize their buildings. Front porticos were added to provide shelter and lend a sense of grandeur to the public face of the building. While the church's overall design remains evident, its workmanship and materials have been diminished by the changes noted above.

Evaluation

In order for religious properties to be eligible for the NRHP they must meet Criterion Consideration A and derive primary _____ from architecture or artistic distinction or historical importance. Pilgrim Chapel Missionary Baptist Church meets Criterion Consideration A because its primary _____ lies within the area of local social history for its association with African American religious and social life in new James City.

Properties can be eligible for the NRHP if they are associated with a _____ event or pattern of events that have made contributions to history at the local, state, or national level. As one of three surviving legacy churches established in new James City, Pilgrim Chapel Missionary Baptist Church is recommended eligible for its embodiment of the social history of the new James City community. New James City is important to local history because it was the landing place of a concentration of slave descendants after the *Bryan v. Spivey* case was decided against the African American residents of old James City. Social ties and cultural institutions forged at the original James City settlement site were transferred to the newly platted subdivisions of new James City where African American residents could _____ own homes and property. The church is especially worthy of recognition because it is a scarce survivor within new James City's diminishing cultural landscape. *For these reasons, Pilgrim Chapel Missionary Baptist Church is recommended eligible for the NRHP under Criterion A.*

The SHPO survey records were examined and two other brick veneered African American churches eligible under Criterion A were _____. The Pilgrim Chapel Missionary Baptist Church compares well with two rural African American churches in Northampton County that

were determined eligible for the NRHP in 2003 under Criteria A and C as a result of environmental studies for upgrades to U.S. 158 (TIP Nos. R-2582 and R-2584). These are the circa 1900 Oak Grove Baptist Church (NP 431) near Garysburg and the circa 1918 St. John AME Church (NP 520) near Conway. Both of these churches were brick veneered in the mid-twentieth century yet retain _____ for their role in the history and development of African American religious life in Northhampton County. The survey _____ for these churches note that the application of brick veneer over an older frame building is a demonstrable mid-twentieth-century architectural trend (Martin and de Miranda 2003:250). It was seen by church leaders as an improvement that conveyed permanence and a church's status to the surrounding community.

Properties can be eligible for the NRHP if they are associated with persons _____ within community, state, or national historic contexts. During the course of this study, this property was not found to illustrate the important achievements of a person _____ to local, state or national history. *Therefore, Pilgrim Chapel Missionary Baptist Church is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. Pilgrim Chapel Missionary Baptist Church has a front-gable main block with a rear cross wing and two square, corner towers of unequal heights. The pointed-arch windows of the side elevations are reminiscent of the Gothic Revival style. The brick veneer exterior dates from 1958. This change detracts from the church's historical appearance. Because of this change, the church does not compare all that well architecturally with the two other surviving legacy churches in James City. *Therefore, Pilgrim Chapel Missionary Baptist Church is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Pilgrim Chapel Missionary Baptist Church is recommended not eligible for the NRHP under Criterion D.*

JONES CHAPEL AME ZION CHURCH (NCDOT SURVEY #2)

Resource Name	Jones Chapel AME Zion Church
HPO Survey Site #	CV 1902
Location	513 Elder Street, James City
PIN	7-006-019
Date(s) of Construction	1915; circa 1965
Recommendation	Eligible for the NRHP Under A and C



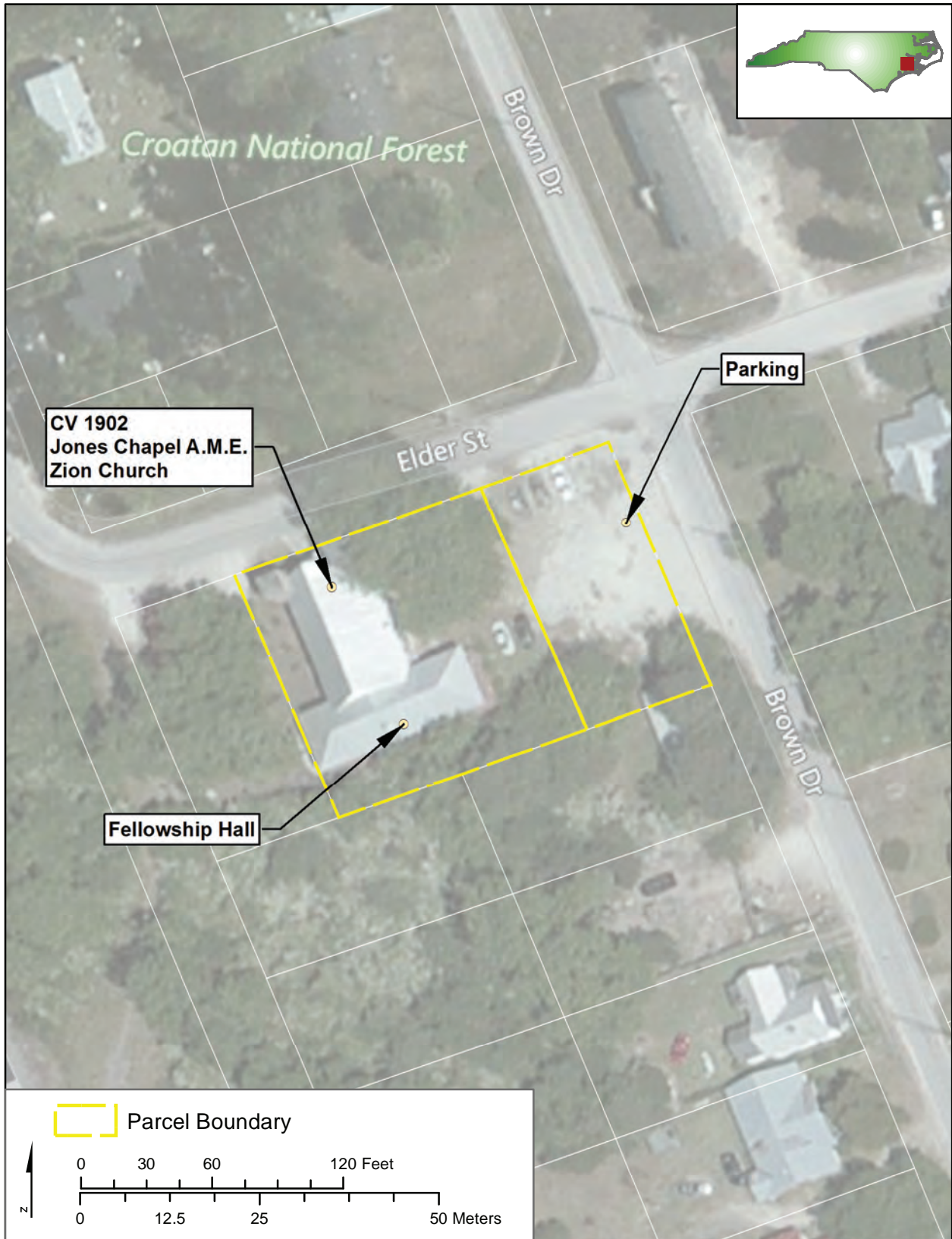
Description

The Jones Chapel AME Zion Church faces north on a 0.33-acre parcel on the south side of Elder Street in the Meadowsville area of James City on the west side of U.S. 70 (Figure 19). The church owns the vacant parcel on the east side of the church and uses it for parking.

Jones Chapel AME Zion Church is a Gothic Revival-style building constructed in 1915. The brick, three-bay, front-gable church has corner towers of unequal heights (Figure 20). The top section of the east tower has been rebuilt. Between the towers is a pedimented portico supported by four square posts. The posts and pediment are covered with vinyl siding. The double front doors are not original and likely date from the 1960s. A set of semicircular poured concrete steps accesses the portico. A handicap ramp leads from the ground level to the portico's west side.

There are pointed-arched vents on the front of each tower and centered above the front entry. Brick buttresses with stone caps are found at the tower corners and in between each of the bays

Figure 19. Jones Chapel AME Zion Church Location and Site Plan



Source: Bing Aerial Photography

of the side elevations (Figure 21). The windows sashes are double-hung and consist of a square clear pane surrounded by multiple squares of colored glass (Figure 22). Above each window is a pointed-arch transom also containing clear and colored glass panes. Above the transoms and the vent openings are cast stone-pointed-arches that have been painted white to contrast with the red brick of the exterior walls (Figure 23). The window and vent sills are comprised of brick header courses. On the sides of the church, the window sizes alternate between larger and smaller openings, so that each sidewall has two large and three smaller windows. The pointed arch tops of the larger windows are partially cut off by the roof eave.

Sometime around 1965, a two-story hipped-roof fellowship hall was added to the rear of the church, perpendicular to the main block. The addition has small 1/1 metal windows. The fellowship hall can be entered directly by door on the north side. A stoop porch shelters the entry. The entire building sits on a foundation of continuous brick. The roof is covered with standing seam metal.

The interior was inaccessible.

Figure 20. Jones Chapel AME Zion Church, North Side



Figure 21. Jones Chapel AME Zion Church, North and West Sides



Figure 22. Jones Chapel AME Zion Church, North and East Sides





Figure 23. Jones Chapel AME Zion Church, Window Detail

History

Jones Chapel AME Zion Church is a descendent congregation of a church founded by African Americans at or just after the establishment of the James City settlement camp in 1863. Other surviving descendent congregations in James City are the Mt. Shiloh Missionary Baptist Church and the Pilgrim Chapel Missionary Baptist Church. Jones Chapel was originally known as “Moseley Chapel” after a prominent free black family in New Bern. Patriarch Robert G. Moseley was a successful grocer and landlord who was elected a county commissioner in the 1870s (Baker 1992:2–3; Justesen 2001:40). Moseley was involved in the settlement of James City, helping to lay out the town, funding house construction, and establishing the community’s AME church (Baker 1992:2).

After a legal decision in 1891 determined that residents of the James City settlement would never obtain title to their land, residents began to move to the area south of Scott’s Creek. The churches followed. Deeds reveal that the Moseley’s Chapel congregation had purchased one or more parcels in the Meadowsville section of New James City by 1899 (Craven County Register of Deeds n.d.:Book 132;170). The deed recording the church’s acquisition of Lot No. 32, its current address, was not found. The cornerstone was laid for the new brick Gothic Revival-style church in 1915. The builder and/or designer is unknown, but it may have been local African American

builder Samuel Chapman Elliot, who would build the Mt. Shiloh Missionary Baptist Church in 1924 (Van Dolsen 2006:8:3). It is plausible that it assumed the name “Jones Chapel” when the church moved to its new site in Meadowsville. Jones Street in the Long Wharf Neighborhood (CV 58) of New Bern was home to many of the city’s free African Americans prior to the Civil War, including the prominent Moseley family (Bishir and Southern 1996:206; Baker 1992:3). In the early twentieth century, Jones Street continued to represent black entrepreneurship, property ownership, and upward mobility. Perhaps that is why the Moseley’s Chapel congregation chose this name.

The church undertook a physical expansion with the construction of the fellowship hall addition, containing classrooms and kitchen facilities, in the mid-1960s suggesting that at time the congregation was growing and well-funded. Jones Chapel AME Zion Church was placed on the state’s NRHP study list in 1994 at the request of the property owners. The study list application

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. Jones Chapel AME Zion Church remains on its original site in the African American subdivision of Meadowsville in new James City. The church retains its setting, feeling, and historic associations with the community. The church has undergone very few exterior alterations. The front portico is probably not original. These sorts of grand porch additions were often made to shelter church entrances, and this one does not detract from the church’s Gothic Revival design, nor does the circa 1965 rear addition. The uneven towers of the façade, a character feature of African American churches, remain intact. On the exterior, the building’s historic workmanship and materials are evident in the original brickwork, cast stone detailing, and windows.

Evaluation

In order for religious properties to be eligible for the NRHP, they must meet Criterion Consideration A and derive primary from architecture or artistic distinction or historical importance. *Jones Chapel AME Zion Church meets Criteria Consideration A because it has significance in the areas of local social history and architecture.*

Properties can be eligible for the NRHP if they are associated with a event or pattern of events that have made contributions to history at the local, state, or national level. As one of three surviving legacy churches established in new James City, Jones Chapel AME Zion Church is recommended eligible for its embodiment of the social history of the new James City community. New James City is important to local history because it was the landing place of a concentration

of slave descendants after the *Bryan v. Spivey* case was decided against the African American residents of old James City. Social ties and cultural institutions forged at the original James City settlement site were transferred to the newly platted subdivisions of new James City where African American residents could own homes and property. The church is especially worthy of recognition because it is an intact survivor within new James City's diminishing cultural historical landscape. *For these reasons, Jones Chapel AME Zion Church is recommended eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. During the course of this study, this property was not found to illustrate the important achievements of a person to local, state, or national history. *Therefore, Jones Chapel AME Zion Church is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. Jones Chapel AME Zion Church is a brick Gothic Revival church. This local congregation chose for its home a substantial brick building rendered in nationally popular ecclesiastical style. The church's unequal front towers exemplify the style as embraced by African American churches across the nation. The church compares favorably with Mt. Shiloh Missionary Baptist Church (NRHP listed in 2007), James City's other unaltered Gothic Revival church. *Therefore, Jones Chapel AME Zion Church is recommended eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Jones Chapel AME Zion Church is recommended not eligible for the NRHP under Criterion D.*

MEADOWS CEMETERY (NCDOT SURVEY #222)

Resource Name	Meadows Cemetery
HPO Survey Site #	CV 2783
Location	Brown Drive and Meadows Cemetery Road, James City
PIN	7-009-102
Date(s) of Construction	Circa 1886-2016
Recommendation	Eligible for the NRHP Under A



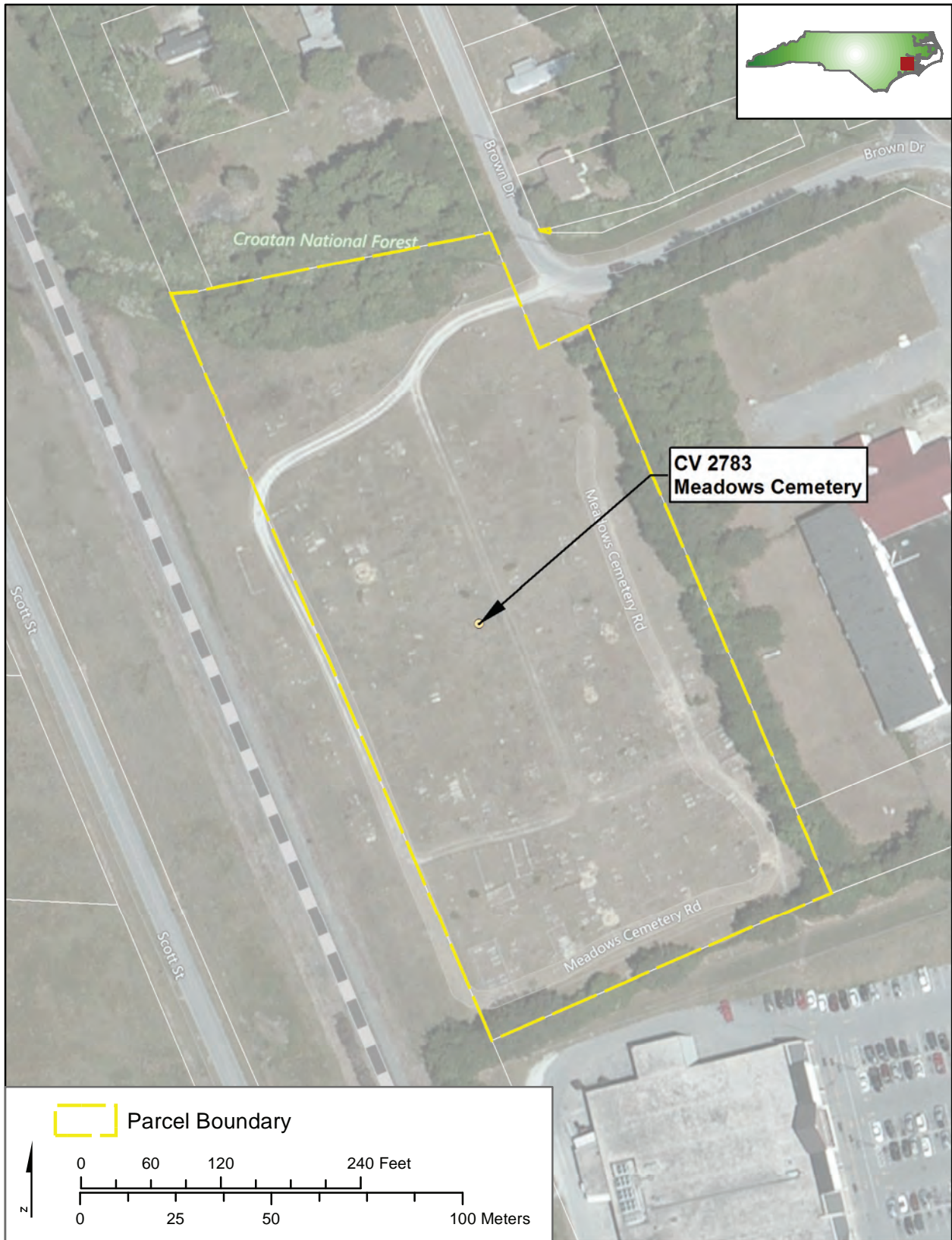
Description

The Meadows Cemetery is situated on a 4.79-acre parcel in the Meadowsville area of James City on the east side of U.S. 70 (Figure 24). The cemetery is accessed at the elbow bend in Brown Drive. Immediately to the west are the railroad tracks of the North Carolina Railroad.

Ungated access to the cemetery is located at Brown Drive (Figure 25). The gravel driveway passes through a low brick wall with end piers. On top of the wall is a wood sign identifying the cemetery. The unpaved driveway divides the cemetery into three sections: two at the north end and one at the south end. Aerial photographs from the early 1990s show circulation patterns now lost to grass cover and an access driveway on the west side of the property that crossed the railroad tracks (Figure 26). The aerial photographs also show shade trees that are no longer present.

The Meadows Cemetery is estimated to contain hundreds of burials (Figures 27-28). A number of them are unmarked but evident by their grave depressions or changes in ground vegetation (Figure 29). The depressions seem to be concentrated at the parcel's north end, perhaps due to the presence of a tributary of Scott's Creek, which serves as the parcel's north boundary (Figure 30). Burials are oriented on an east-west axis, but there does not appear to be a formal plan or organization to the

Figure 24. Location Map of Meadows Cemetery



Source: Bing Aerial Photography

cemetery. Approximately 30 family plots are demarcated by enclosures of either brick or plain or decorative concrete block (Figures 31-32). Marker materials observed includes concrete, marble, and metal funeral home markers (Figures 33-35). Forms include crosses, slabs, and arched-top tablets and raised vaults (Figure 36). Military-provided markers were also noted. The earliest marked grave dates from 1886.

Figure 25. Meadows Cemetery, Looking East Through Entry Point



Figure 26. Meadows Cemetery 1992 Aerial Photograph



Figure 27. Meadows Cemetery, Looking East



Figure 28. Meadows Cemetery, Looking Southeast



Figure 29. Meadows Cemetery, North Section with Grave Depressions



Figure 30. Meadows Cemetery, North Section Showing Wooded Area with Creek Tributary (Right of Frame)



Figure 31. Meadows Cemetery, Typical Concrete Block Family Enclosure



Figure 32. Meadows Cemetery, Typical Brick Family Enclosure (Left of Frame)



Figure 33. Meadows Cemetery, Homemade Concrete Marker



Figure 34. Meadows Cemetery, Marble Marker



Figure 35. Meadows Cemetery, Slab Markers



Figure 36. Meadows Cemetery, Tablet Markers



History

The Meadows Cemetery is an African American community burial ground established in the 1880s. The earliest grave marker is inscribed 1886, which indicates that the cemetery was in use prior to the *Bryan v. Spivey* decision. Therefore, some of the graves may belong to residents of the original James City site. The cemetery is not with any particular church but rather received burials from the local community of James City, as well as some individuals from New Bern (Bell 2014). One informant stated the cemetery was named in honor of a white New Bern citizen named Meadows who aided the community during the Depression. However, it is more probable that the cemetery derives its name from the Meadowsville subdivision where it is located. The subdivision was named by or after J.A. Meadows, the owner of a New Bern fertilizer plant who platted the Meadowsville subdivision around 1886 in the early years of the population exodus from old James City. Meadows may have provided land for the community cemetery, or perhaps he wisely dedicated land that was already being used for this purpose. The cemetery is still used by local residents today in 2016.

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. As a burial ground in use since the 1880s, Meadows Cemetery possesses integrity of location, setting and feeling. Its associative links to James City's historical population remain strong. It is impossible to know if grave makers have been lost over the years; however, it would not be atypical for older markers to have been made of impermanent materials, such as wood, or for graves to be marked with easy-to-move markers such as or for graves to have been unmarked. The workmanship of local folk grave marker makers is evident by the presence of handmade concrete gravestones. Historic materials remain intact as does the overall circulation system. Due to these observations, it can be surmised that Meadows Cemetery retains to a large extent its historic associations, function, and general historic appearance.

Evaluation

In order for a cemetery to be eligible for the NRHP, it must meet Criteria Consideration D and derive its primary from persons of transcendent importance, from age, form, distinctive features, or from its association with historic events. The Meadows Cemetery meets this requirement because of its historic link to the new James City community.

Properties can be eligible for the NRHP if they are associated with a event or pattern of events that have made contributions to history at the local, state, or national level. The Meadows Cemetery is recommended eligible for its continuing links to the settlers of new James City and

their descendants. New James City is important to local history because it was the landing place of a concentration of slave descendants after the *Bryan v. Spivey* case was decided against the African American residents of old James City. Social ties and cultural institutions forged at the original James City settlement site were transferred to the newly platted subdivisions of new James City. James City's original site has been obliterated. Much of the fabric of new James City has been eroded due to the construction of U.S. 70 and the forces of population attrition. The cemetery is especially worthy of recognition because it is one of a limited number of resources that expresses the enduring patterns of community life in James City. The connection with this burial place and new James City is unmistakable.

Meadows Cemetery is comparable to Union Cemetery (GF 1263) in the African American community of Warnersville in Greensboro, Guilford County. Union Cemetery was listed in the NRHP in 1993 under Criteria A and C (Figures 37-38). The cemeteries are similar in that both were established in African American residential subdivisions of the 1880s and both received burials from multiple local African American churches, of differing denominations, without churchyard cemeteries. The NRHP nomination for Union Cemetery states that it is one of only two surviving resources that remain to illustrate the importance of the no-longer extant black suburb of Warnersville. Meadows Cemetery is one of a handful of cultural resources that survive to tell the story of James City. Another comparable resource is the Oak Grove Cemetery (WA 6649) in the Method community of Raleigh (Figure 39). Oak Grove was determined eligible for the NRHP under Criterion A in 2013 as part of an NCDOT project to improve I-440 (U-2719). Oak Grove was determined eligible as a scarce surviving resource associated with a physically fragile post-Civil War African American community.

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. During the course of this study, this cemetery was not found to illustrate the important achievements of a historically person. However, the cemetery contains the graves of many James City residents, some of whom may in fact have played a documentable, role in local history and for which there are no other surviving resources that can represent their achievements. *At this time the Meadows Cemetery is recommended not eligible under Criterion B; however, additional research may prove the cemetery eligible under this criterion.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. Folk cemeteries may be eligible if quality craftsmanship or distinctive folk art is present. The Meadows Cemetery does not possess remarkable burial markers, enclosures or funerary art. The types of grave markers present are typical of those found in informal folk cemeteries, both African American and white, across the state. The cemetery does not strongly convey African

Figure 37. Union Cemetery in Greensboro, Section with Marked Graves



Figure 38. Union Cemetery in Greensboro, Section with Unmarked Graves



Figure 39. Oak Grove Cemetery in Raleigh



American burial practices such as white or silver painted markers, glass-embellished markers, wood or markers, surface decorations, or the use of non-mortuary objects for grave marking. The cemetery lacks symbolic funerary plantings, which are often found in African American folk cemeteries. It cannot be determined if some or all of these features may have been present in the past. *For these reasons, the Meadows Cemetery is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Meadows Cemetery is recommended not eligible for the NRHP under Criterion D.*

C. RESOURCES RECOMMENDED NOT ELIGIBLE FOR THE NATIONAL REGISTER

ATLANTIC AND NORTH CAROLINA RAILROAD CORRIDOR (NCDOT SURVEY #6)

Resource Name	Atlantic and North Carolina Railroad Corridor
HPO Survey Site #	CV 2567
Location	Norfolk and Southern Railroad Corridor, James City
PIN	7-RAILRD-NCRR
Date(s) of Construction	Circa 1854; Circa 2000
Recommendation	Not Eligible for the NRHP



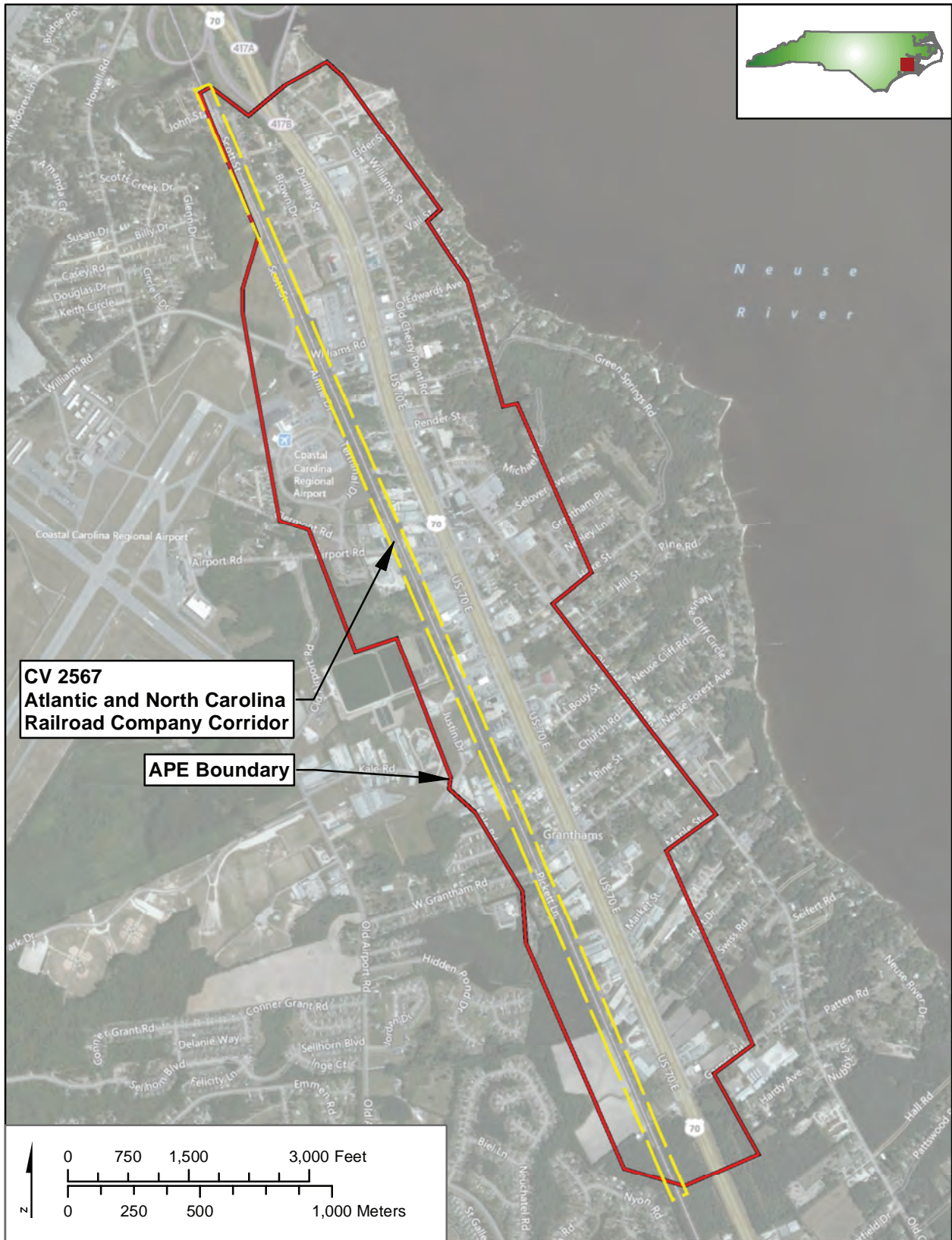
Google Map View Looking North from U.S. 70 Cloverleaf Over Old James City Site

Description

Within the project APE, the Atlantic and North Carolina Railroad (A&NC) corridor runs from north to south on the west side of U.S. 70 (Figure 40). This segment has been incorporated into the NCRR corridor.

The A&NC railroad corridor contains a single-track wide gauge railroad that runs approximately 2.5 miles through the project area. It is roughly parallel with U.S. 70 with at-grade crossings at Garner Road, West Grantham Road, Church Road, Airport Road, Williams Road, and Brown Street (Figure 41). There are modern swing gates at all but the Church Road and Garner Road crossings. A spur serving the Dixie Fertilizer Plant branches east at West Maple Street. There is a double track siding between Buoy and Pine streets. The rail bed is approximately 75 feet wide and is mounded and covered with gravel. The railroad easement is 200 feet wide. Rails and ties are recent.

Figure 40. Atlantic and North Carolina Railroad Company Corridor Location Map



Source: Bing Aerial Photography

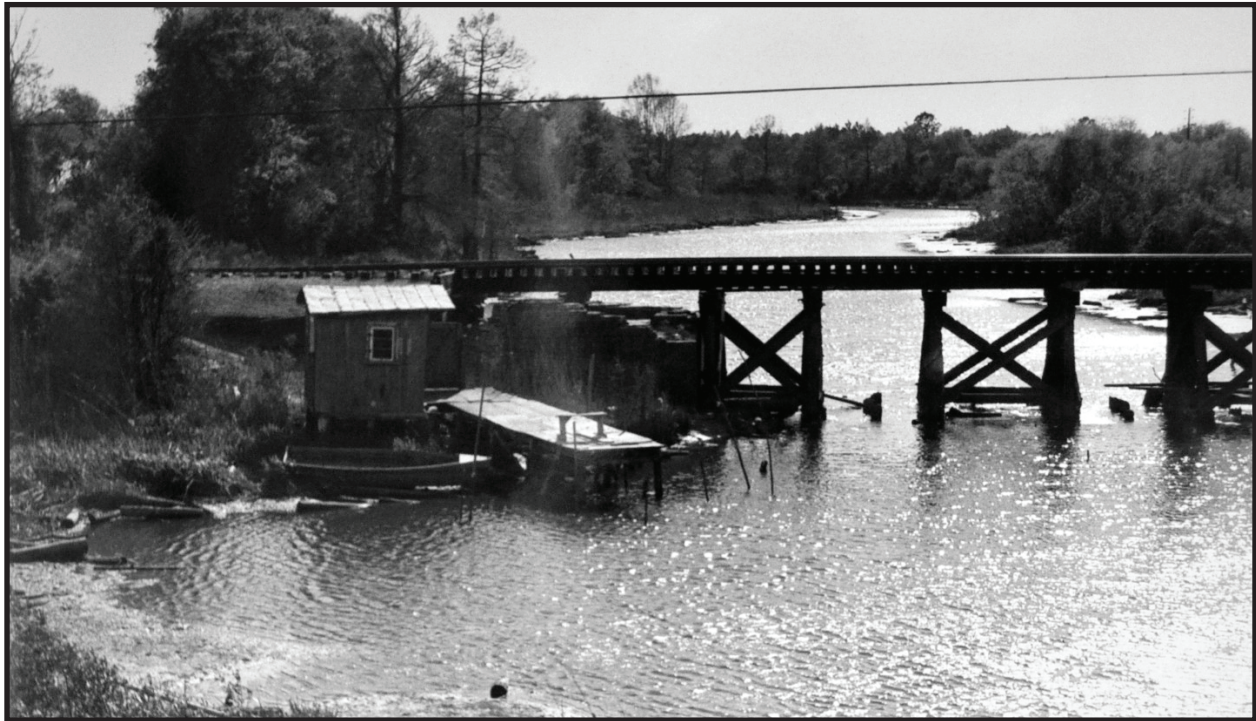
Figure 41. Atlantic and North Carolina Railroad Company Corridor Looking South at Brown Street.



History

Planning and construction of the A&NC began in 1854. It was completed in 1858 and predates the establishment of James City by years (Figure 42). The line linked the port at Morehead City with Goldsboro and the larger North Carolina Railroad system. The state-funded rail network linked North Carolina to Virginia and South Carolina and allowed the expeditious transport of goods, which had previously been stymied by the state's geographical bad fortune when it came to navigable waterways. Sanborn and other historic maps show rail sidings linking James City's riverside industries to the A&NC's main line. During the research phase of this project, no maps were found showing freight or passenger depots or maintenance facilities in James City. So it is assumed that the railroad's function in James City was strictly to serve white-owned industries.

Figure 42. Undated Photo Showing Trestle Over Scott's Creek in James City



Source: Records of the James City Historical Society Oral History Project, Kellenberger Room, Craven County Public Library.

During the Civil War, control of transportation infrastructure such as rivers, ports, railroads and surface roads, was of great strategic importance. The A&NC was one of many contested transportation assets. On March 14, 1862, Union General Ambrose Burnside and Confederate General Lawrence O'Bryan Branch squared off three miles south of New Bern, and just south of the project area, at what would become known as the Battle of New Bern. This battle was important as it indicated that whichever side controlled the water and railroad gateways would control the city. Branch's troops were defeated and the Union Army gained control of the two overland accesses to New Bern from the south, the A&NC and the Old Beaufort Road (see Figure 49).

The A&NC corridor is included in the NRHP nomination for the New Bern Site. This historic site was listed in the NRHP for its statewide under Criterion A in the area of military history in 2001. The is composed of two contributing sites that made up the Confederate's 8,500-foot defensive line between Fort Thompson on the Neuse River at the east end and a tributary of Brice's Creek at the west end. The nomination form describes the two contributing sites as the trench line east of U.S. 70 and the Confederate line and west of U.S. 70 that included the historic railroad corridor (Brent 2001:7:1-7:5).

Integrity

In order to be eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. The modern day Norfolk and Southern corridor that cuts through the project area appears to be on the same alignment as the historic A&NC corridor and therefore integrity of location and association can be claimed. However, the area's historic setting and feeling has been altered since the old James City era, 1863 to circa 1900, or March 14, 1862, the date of the Battle of New Bern. No ancillary railroad infrastructure was observed in or adjacent to the corridor. The old trestle over Scott's Creek has been replaced by a modern crossing and modern tracks and modern rails and ties run along a mounded, graveled railroad bed. The A&NC corridor no longer possesses integrity of design, materials, workmanship, or feeling.

Evaluation

Linear resources may be eligible for the NRHP as districts or as contributing resources within districts. To be considered individually, eligible railroads should retain infrastructure from the period of (Hardesty and Little 2009:110). Historic railroad resource types are associated with the activities of railroad construction, engineering, operation maintenance and supply and may include: grades, rails, crossties, beds, cuts, control devices, signage, bridges, tunnels, trestles, roundhouses, and depots, sheds, water tanks, coaling stations, sand towers, blockhouses and other sorts of buildings or structures (Hardesty and Little 2009:110-111-123). The nature of railroad-related apparatuses is that they must be constantly upgraded, and therefore it is for a railroad to be individually eligible for the NRHP without an intact historic corridor and remnant resources such bridge piers, culverts or depots.

Properties can be eligible for the NRHP if they are associated with a event or pattern of events that have made contributions to history at the local, state, or national level and retain integrity from the period of The A&NC railroad corridor was constructed through James City prior to its establishment in 1863. The corridor remains the same but no above ground resources from the period of construction or the founding of James City were observed and the corridor is no longer able to convey its associations with these events. A portion of the railroad corridor is included as a site feature in one of two contributing sites in the New Bern Site NRHP district. In this case, the corridor does contribute to the district because other battle related features were nearby. Only one railroad corridor in the state has been determined individually eligible for listing in the NRHP. Fifty miles of the Raleigh & Gaston Railroad corridor (NC 0008) from Raleigh to Norlina was determined eligible for the NRHP for transportation history in 2007. The length of this resource allows it to take in related historic features such as 1840s bridge piers, passenger and freight depots, and hotels. This linear resource also connects a number of small

town NRHP-listed and eligible districts, which provide it a strong context within the landscape. *The A&NC railroad corridor is recommended not eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. The A&NC railroad corridor was not found to represent the productive life of a person whose achievements could not be better represented by another property. *Therefore, the A&NC railroad corridor is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value or if they represent a and distinguishable entity whose components may lack individual distinction. The A&NC railroad corridor within the APE was examined and while the railroad alignment appears to be the historic one, the track components are modern. While this is an understandable and necessary upgrade to the railroad, it does constitute a replacement of historic materials. The railroad's integrity through the APE is further problematized by a lack of contextualizing historic features and resources. The railroad does not possess the necessary integrity to illustrate its appearance during the development of the original or 'new' James City communities or during the Civil War period. *Therefore, the A&NC railroad corridor is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the A&NC railroad corridor is recommended not eligible for the NRHP under Criterion D.*

DUDLEY HOUSE (NCDOT SURVEY #9)

Resource Name	Dudley House
HPO Survey Site #	CV 2570
Location	310 Scott Street, James City
PIN	7-005-060
Date(s) of Construction	Circa 1935
Recommendation	Not Eligible for the NRHP



Description

The Dudley House faces west on a 0.11-acre parcel east side of Scott Street in the Brownsville subdivision on the west side of U.S. 70 in James City (Figure 43). The Norfolk and Southern Railroad corridor passes west of the house and Mt. Shiloh Missionary Baptist Church (CV 2050) is across Scott Street from it. The subject parcel contains the house and one outbuilding.

The Dudley House is a two-story, side-hall plan, gable-and-wing dwelling with a one-story rear ell and a rear shed (Figures 44-46). The front facing gable has a pedimented and the side sections have end returns. Across the front elevation is a Craftsman-style hipped-roof porch with pyramidal posts on brick piers. The front door is a replacement. Most of the windows are replacement 1/1 vinyl sashes although a wood 2/2 sash was observed on the south side (Figure 45). A picture window on the lower of the front elevation likely replaces what was originally a

Figure 43. Dudley House Location and Site Plan



Source: Bing Aerial Photography

pair of windows aligned with those of the second story. Metal awnings shelter the second story façade windows and the porch. Vinyl siding covers the exterior. The roof is red standing seam metal. There are brick stove on the south side of the main block and the projecting from the roof ridgeline of the ell.

The interior was inaccessible. The property owner was interviewed by telephone and stated that she “gutted” the interior upon purchasing the property in April 2016. The only original features

Behind the house is a two-story front-gable barn with one-story, concrete block sheds on the north and south sides (Figure 47). The barn is covered with a combination of wood and vinyl siding. It has a metal roof.

Figure 44. Dudley House Front/West Side



Figure 45. Dudley House South Side



Figure 46. Dudley House Rear/East Side



Figure 47. Dudley House Garage



History

A construction date for the Dudley House was not determined. Tax records and historic topographical maps suggest this dwelling was built in the 1930s, but its appearance suggests it could have been built as early as 1900. The house is reported to have been erected by the Dudley family who owned the house until the current owner purchased it in 2016. Anna Dudley lived there for many years. She was a local nurse who served the local community (Ashbrook 2016).

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. The Dudley House retains integrity of form and location. The associative links with the historic Brownsville neighborhood and the larger James City communities are moderately intact and some features of the neighborhood remain, such as the railroad corridor and the Mt. Shiloh Missionary Baptist Church. However, much of the original housing stock in the immediate area on John Street, Scott Street and Brooks Drive has been lost. Aspects of design, materials and workmanship are no longer strongly conveyed due the application of vinyl siding and the loss of almost all of the original windows. The interior was not directly observed.

Evaluation

Properties can be eligible for the NRHP if they are associated with a significant event or pattern of events that have made contributions to history at the local, state, or national level. The Dudley House is one of a collection of houses associated with the “new” James City neighborhood that developed south of Scott’s Creek after the original James City settlement site began to be abandoned in the 1890s. This collection of houses that made up new James City is eroding. The neighborhood has been negatively impacted by the loss of historic dwellings, alterations to surviving dwellings, and the construction of U.S. 70 through the center of the community. It is indisputable that the Dudley House is associated with the development of New James City but a significant important association of the house to the community was not established. *Therefore, the Dudley House is recommended not eligible for the NRHP under Criterion A.*

Research conducted for this project did not identify members of the Dudley family as significant within community, state, or national historic contexts. The Dudleys were long-time, active residents of the community but are not known to have made historically significant individual contributions within the context of new James City. *Therefore, the Dudley House is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. The Dudley House is a modest, two-story gable-and-wing dwelling. The vinyl siding masks important details of the house’s design, craftsmanship, and materials, and all but a few original windows have been lost and the fenestration of the façade has been changed to accommodate a picture window. Due to these changes, the house no longer conveys its historical appearance. Even if intact, the house does not possess significant design or architectural features that would qualify it for individual NRHP eligibility. A number of very similar houses survive in New Bern Historic District (CV 28), but none are listed individually. King Street contains modest two-story front-gable and gable-and-wing houses erected as rental housing in the early twentieth century. The house on 211 King Street (CV 1971—block 10) is similar in form to the Dudley House, although its siding and windows remain intact (Figure 48). One block south at 206 Johnson Street is the Springle House (CV 1618), which also possesses the gable-and-wing form and side-hall plan similar to the Dudley House (Figure 49). The Springle House also retains original siding and windows and a porch with turned posts and balusters. The two houses noted are better, more intact examples of this modest house type. For these reasons, *the Dudley House is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Dudley House is recommended not eligible for the NRHP under Criterion D.*

Figure 48. 211 King Street, New Bern



Figure 49. Springle House, 206 Johnson Street, New Bern



DIXIE FERTILIZER PLANT (NCDOT SURVEY #42)

Resource Name	Dixie Fertilizer Plant
HPO Survey Site #	CV 2603
Location	500 Old Cherry Point Road, James City
PIN	7-003-027
Date(s) of Construction	Circa 1933; circa 1975; circa 2000
Recommendation	Not Eligible for the NRHP

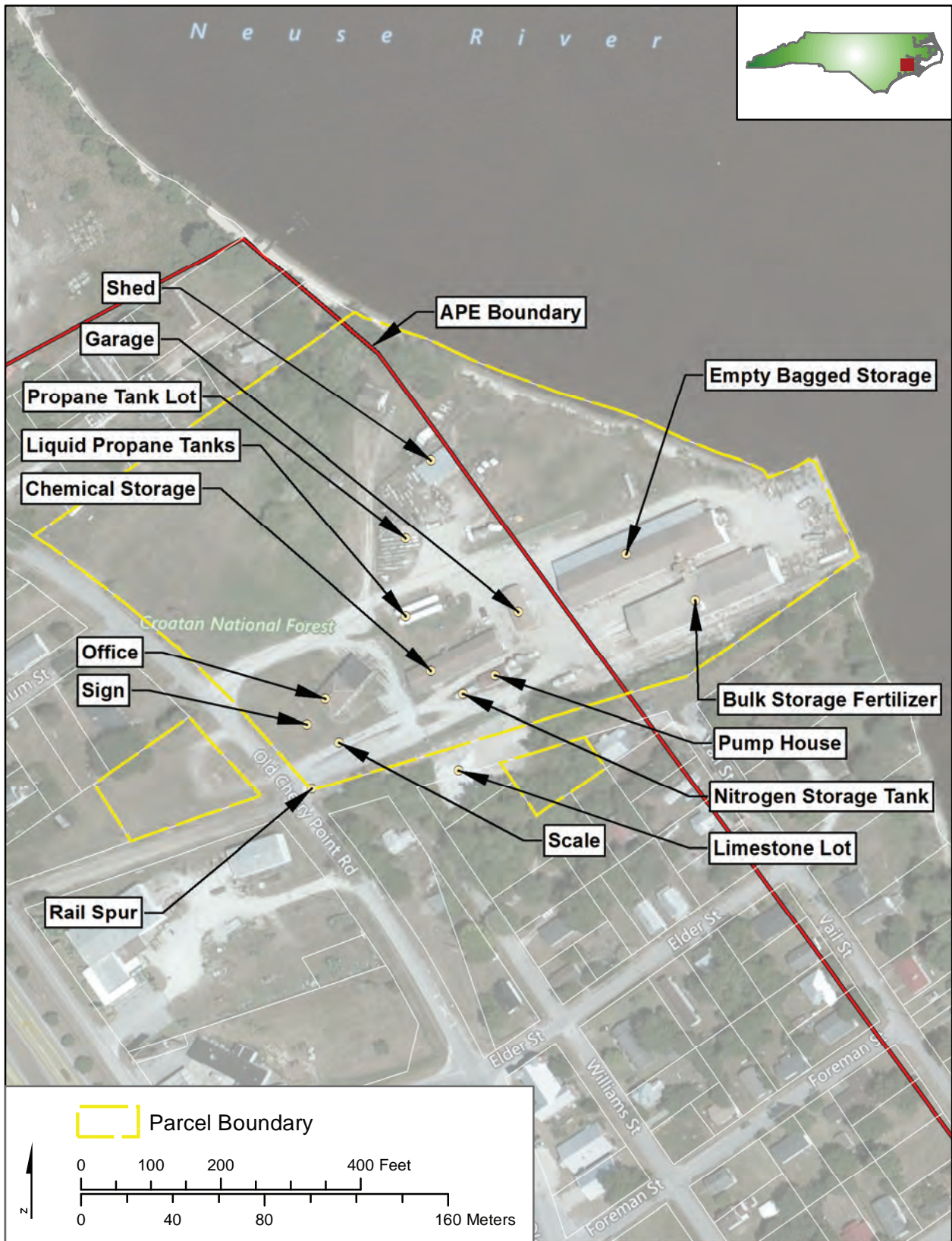
Description



The Dixie Fertilizer Plant consists of a railroad spur, a collection of non-historic storage buildings and a historic brick building that faces Old Cherry Point Road (Figure 50). In front of the building is a metal sign with letters mounted on a grid that reads, “Home of Dixie Farm Tested Fertilizer.” The 11-acre parcel has approximately 800 feet of river frontage on the west bank of the Neuse River in James City.

The Dixie Fertilizer Plant is anchored by a circa 1933 Colonial Revival brick building. The square building has a green metal hipped-roof (Figure 51). A gabled addition was built on the east side in the 1970s (Figure 52). The front of the building is symmetrical and has a central, paneled entry door with an arched fanlight and a Colonial Revival surround with square pilasters. Semicircular brick and concrete steps lead to the door. On either side of the entry is an original 6/6 wood window. The exterior common bond brick is broken up by soldier courses at the water table and frieze. Above the brick frieze is a wide wood frieze and paneled eaves (Figure 53). The north side has four 6/6 windows, three of which have metal awnings. The south side has an entry at the southwest corner and two sets of paired 6/6 windows and one single-place one. The addition has 6/6 and 8/8 wood windows (Figure 54). All of the windows have brick header sills. The interior of the circa 1933 section retains its original plan with a large open work area at the front of the building and behind it a central hall with (Figures 55-57). Each is

Figure 50. Dixie Fertilizer Plant Location and Site Plan



Source: Bing Aerial Photography

partitioned from the hall by display windows a glass door. The trim is Craftsman-style. The ceilings have been covered with acoustical tile but the crown molding and chair rails remain. The wood are covered by later vinyl There is an original walk-in vault at the northwest corner of the old section. The 1970s section replicates the center hall plan. Its 1970s-era include paneled walls, drop ceilings, hollow core doors, and carpeted (Figure 56).

The plant buildings are east of the between it and the Neuse River. All of the extant buildings were built after 1976 (Lamb 2016). These buildings include: large warehouses for chemical storage, bag storage and bulk storage; a pump house, a shed and a garage. Site features include lots for propane, nitrogen and crushed limestone. Historic features of the site include the rail spur that runs from the Norfolk and Southern Corridor east to the Neuse River along the south side of

Figure 51. Dixie Fertilizer Plant West Side of Office and Sign



Figure 52. Dixie Fertilizer Plant West Side of Office With Addition



Figure 53. Dixie Fertilizer Plant Office Frieze and Eave Detail



Figure 54. Dixie Fertilizer Plant Office South Side with Truck Scale in Foreground



Figure 55. Dixie Fertilizer Plant Office Open Work Area Looking to Central Hall



Figure 56. Dixie Fertilizer Plant Office 1933 Central Hall Looking to 1970s Section



Figure 57. Dixie Fertilizer Plant Office 1970s Central Hall Looking to 1933 Section



History

The riverfronts of New Bern and James City were home to a number of industrial facilities, particularly lumber, sawmilling and paper manufactories, in the late nineteenth and early twentieth centuries. Sanborn maps show 13 industrial facilities between 1893 and 1924 on both the Neuse River and Trent River sides of James City. As local forests were depleted, lumber-related concerns disappeared from the waterfronts and were replaced by industrial scale fertilizer companies that processed local lime deposits and commercial byproducts. Dixie Fertilizer was one of four known fertilizer manufacturing companies in New Bern and James City. The others were J. Council Brown Agricultural Lime, Virginia and Carolina Chemical Company Fertilizer Works, Meadows Fertilizer Company and the New Bern Oil Mill.

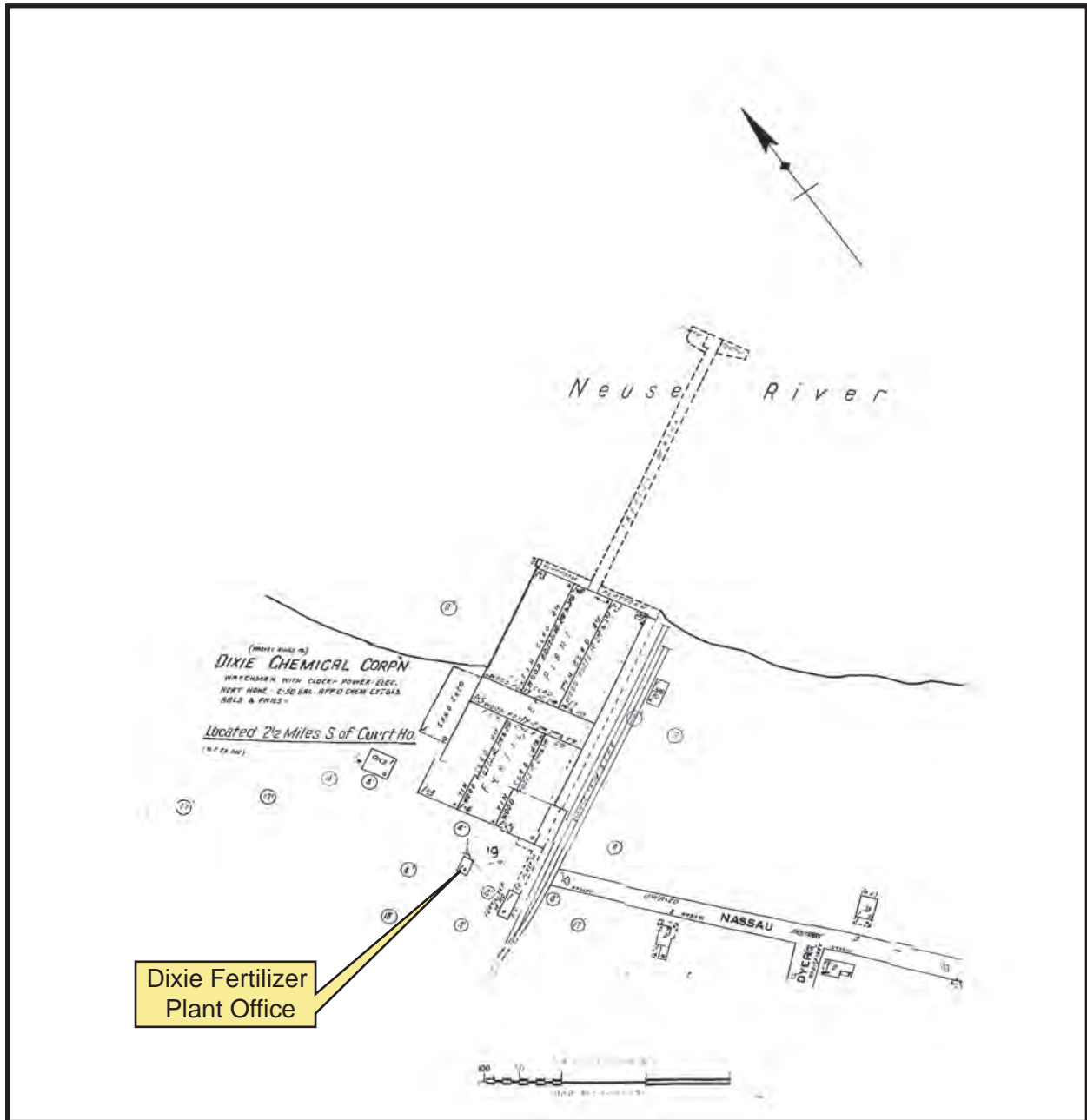
L. Harvey and Son, Dixie Fertilizer's parent company, was founded in Kinston in 1871. The company sold farm equipment, plows and agricultural goods. The plant in James City was established in 1933 when the company began to manufacture its own fertilizer under the name of Dixie Fertilizer. A manufacturing facility/warehouse and the brick were built (Figure 58). The massive four-story tin-clad wood warehouse projected over the river on pilings. Menhaden was brought to the plant by barge and lime was brought in by rail. By the 1940s, the plant was producing 30 tons of fertilizer annually (Lamb 2016).

The mid-1970s began a period of great change for the company beginning with the complete destruction of the warehouse by in 1976. The company rebuilt smaller, but still substantial, warehouses that are on the site today. During the rebuilding period the addition was built and the Tidewater Gas distribution division was established on the site. Over the years, various other buildings have been erected such as garages and sheds. Today, the plant distributes fertilizer but does not manufacture it. Product comes in and out on trucks. The plant's location near the river and the rail road tracks is no longer essential to its functioning. The company remains under the ownership of the Harvey family.

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. The Dixie Fertilizer Plant retains integrity of location and setting as the complex is on its original site and retains its waterfront and rail side locations that were at one time essential to its functioning. However, the catastrophic of 1976 destroyed the historic 1933 manufacturing facility/warehouse building, a major component of the site. The loss of the building impacts the resource's ability to convey the plant's operation. The 1933 brick building retains a degree of interior and exterior integrity of design, materials, and workmanship and feeling. The plant retains its historic associations with the Harvey family.

Figure 58. 1931 Sanborn Fire Insurance Map Showing Dixie Warehouse (Burned in 1976)



Evaluation

Properties can be eligible for the NRHP if they are associated with a _____ event or pattern of events that have made contributions to history at the local, state, or national level. The Dixie Fertilizer Plant is associated with post-lumber boom, industrial manufacturing in Craven County. It is the only waterfront industrial facility remaining in James City. Today, the site is dominated by buildings erected after 1976. The circa 1933 manufacturing facility/warehouse that burned in 1976 was essential to understanding how the plant functioned historically. Its loss cannot be compensated for by the plant's one remaining historic building and its setting. *Therefore, the Dixie Fertilizer Plant is recommended not eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons _____ within community, state, or national historic contexts. The Harvey family of Kinston opened their business in the 1870s, and they continue to be active in business in eastern North Carolina operating multiple businesses, including the Dixie Fertilizer Plant, under the auspices of the Harvey Fertilizer and Gas Company. The family may have played a _____ role in the economy of Kinston or eastern North Carolina. This theory was not fully evaluated for this study. However, the loss of the main historic resource at the Dixie Fertilizer Plant has eroded the resource's overall integrity to the point where it cannot convey any historic associations with the Harvey family. *Therefore, the Dixie Fertilizer Plant is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. The Dixie Fertilizer Plant is the site of a circa 1933 industrial manufacturing and distribution facility that relied on rail and river transport. The site's primary historic resource, the warehouse, was lost to _____ in 1976 and today all but one building on the site dates from after 1976. For this reason, the resource as a whole cannot convey its historic appearance and function.

One historic building remains on the site, a handsome circa 1933 Colonial Revival _____ building. While substantially intact, the building's architectural details do not stand out in comparison to the many Colonial Revival commercial and public buildings which contribute to the NRHP-listed New Bern Historic District (CV 28). Architectural historian Peter Sandbeck described the district's commercial areas as "a veritable sampler of the many nationally-popular eclectic revival styles" including Spanish, Colonial, and Georgian revivals (Sandbeck 1998:155). This enduring interest in the old over the new and modern can be traced to New Bern's past as North Carolina's colonial capital. Between 1767 and 1770, Royal Governor William Tryon built a massive brick Palladian palace designed by professionally trained British architect John Hawkes. Tryon's Palace burned a short time later in 1798 but its architecture continued to exert _____ locally for centuries. The palace was reconstructed based on Hawkes original drawings in the 1950s, although plans for a reconstruction began in earnest in 1929 (Sandbeck 1998:206). The palace's _____ is

manifest in the town's preference for public and private buildings with colonial referents. The Georgian Revival New Bern Federal Building (CV 1738), 1932-1934, is one of the most fully executed revival buildings in New Bern; however, the colonial-period favoritism trickles down to more modest buildings as well (Figure 59). The circa 1935 Branch Banking and Trust Building (CR1807) at 325 Pollack Street is a two-story brick Colonial Revival commercial building with 8/12 windows, cast stone quoins and frieze, and a cast stone entry surround with square pilasters and dentil molding (Figure 60). Another good example of a local Colonial Revival commercial building is the 1932 Pure Oil Station (CV 1814) at 501 Pollock Street (Figure 61). This romanticized Colonial Revival brick service station has an bay with a steeply pitched gable roof, exterior end chimneys and a bay window with a copper window hood and diamond shaped windows panes. When compared with the numerous Colonial Revival building that exist locally, the Dixie Fertilizer Plant does not stand out as embodying the distinctive characteristics of the style. *Therefore, Dixie Fertilizer Plant is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Dixie Fertilizer Plant is recommended not eligible for the NRHP under Criterion D.*

Figure 59. New Bern Federal Building



Figure 60. Branch Banking and Trust Building, New Bern.



Figure 61. Pure Oil Station, New Bern.



REFORM SHILOH MISSIONARY BAPTIST CHURCH (NCDOT SURVEY #45)

Resource Name	Reform Shiloh Missionary Baptist Church
HPO Survey Site #	CV 2606
Location	406 Plum Street, James City
PIN	007-006-089; 007-006-092
Date(s) of Construction	Circa 1955, Circa 2000
Recommendation	Not Eligible for the NRHP

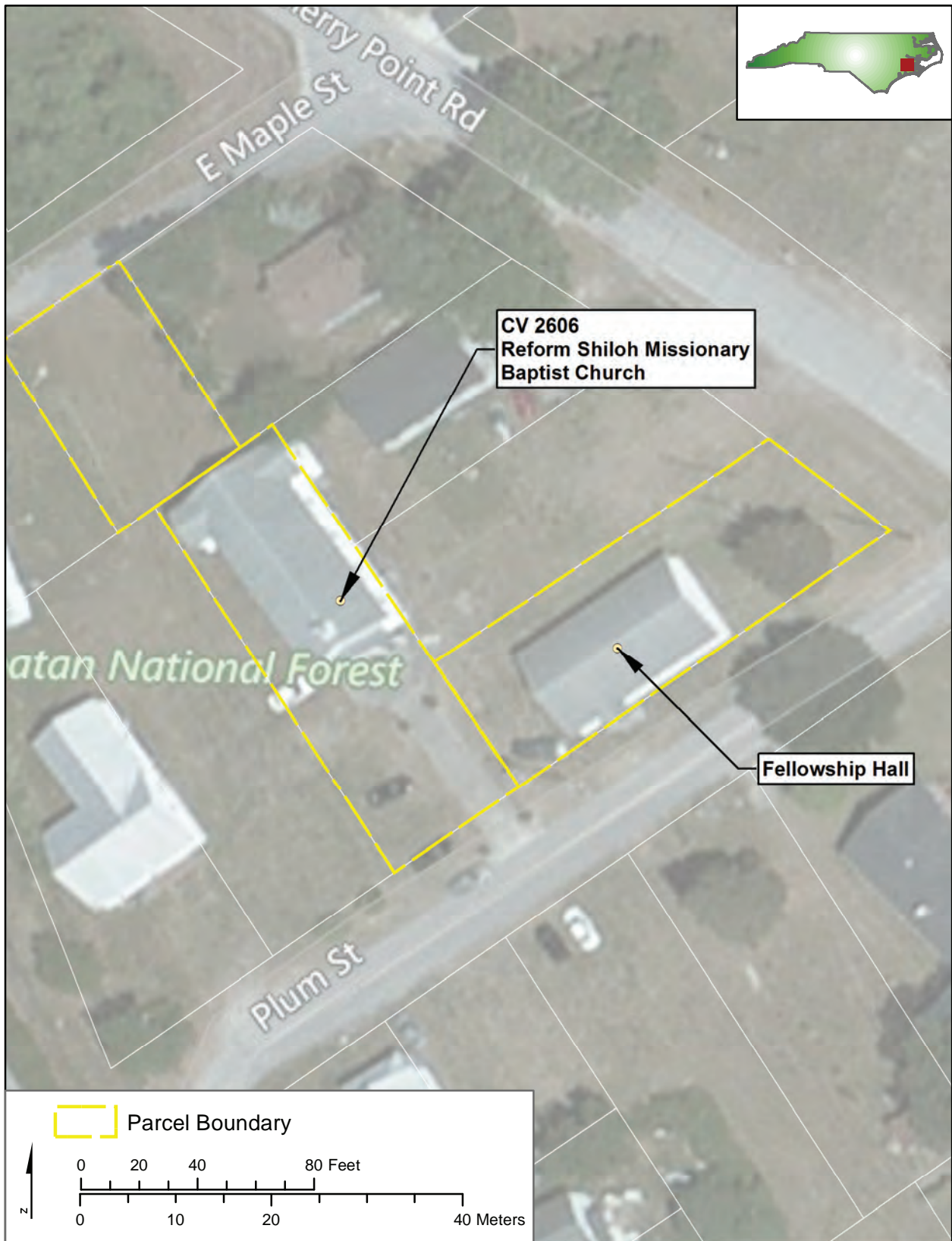


Description

Reform Shiloh Missionary Baptist Church faces south on a 0.17-acre parcel on the north side of Plum Street in the Brownsville subdivision on the east side of U.S. 70 in James City (Figure 62). The Fellowship Hall is situated southeast of the church on a separate legal parcel. Parking is on the privately-owned grass lot immediately west of the church. West of the parking lot is a one-story concrete block building that houses the James City Community Center.

The Reform Shiloh Missionary Baptist Church was built circa 1955. It is a one-story, front-gable church with gabled entry wings on the east and west sides at the rear of the building (Figures 63-64). The church has been covered in vinyl siding, so its construction materials could not be determined. There is a front-gable porch supported by four square posts (Figure 65). The porch is accessed by wood ramps. The four bays of the side elevations are separated by vinyl-covered buttresses. The

Figure 62. Reform Shiloh Missionary Baptist Church Location and Site Plan



Source: Bing Aerial Photography

window openings have pointed tops and single panes set in inoperable windows (Figure 66). The front and side entries have modern glass and metal doors. The front door is double leaf. The church sits on a concrete block foundation. The roof is covered with asphalt shingles and is topped by a four-sided cupola.

The interior was inaccessible.

The 1983 Fellowship Hall is a one-story, rectangular, concrete block building with an asphalt shingle gabled roof (Figure 67). The entry is under a gabled stoop porch on the south side. The windows are 1/1. There is a shed storage room on the east side.

Figure 63. Reform Shiloh Missionary Baptist Church, East Side



Figure 64. Reform Shiloh Missionary Baptist Church, West Side



Figure 65. Reform Shiloh Missionary Baptist Church, South Side



Figure 66. Reform Shiloh Missionary Baptist Church, Window Detail

Figure 67. Reform Shiloh Missionary Baptist Church, Fellowship Hall



History

The Reform Shiloh Missionary Baptist Church was founded in 1896 after a split from the Mt. Shiloh Missionary Baptist Church. The origins of the dispute have been lost to time. In the early 1900s the church acquired the present property (James City Oral History Records 2014b). In the mid-1950s, the church erected the current building. Since its completion the church building has been continually improved and modernized (Bell 2014). The vinyl siding was installed around 2000. In 1983, the Fellowship Hall was built.

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. Reform Shiloh Missionary Baptist Church remains on a parcel purchased by the church in early 1900s and therefore possesses integrity of location. In an interview, local resident Emma Bell described changes to the historic fabric in the neighborhood immediately surrounding the church, particularly the loss of historic dwellings. The church's setting and feeling has been somewhat negatively impacted by these changes. The church has undergone alterations that have resulted in the loss or masking 1950s-era building materials; the original doors and windows have been removed and the exterior wall materials cannot be determined due to the vinyl siding. These changes detract from the design, materials and workmanship aspects of integrity.

Evaluation

In order for religious properties to be eligible for the NRHP they must meet Criterion Consideration A and derive primary _____ from architecture, artistic distinction or historical importance. Reform Shiloh Missionary Baptist Church is an altered building that is not of exceptional architectural _____ nor has it been demonstrated that it played an exceptional role in social or religious history in the 1950s or 1960s time period.

Properties can be eligible for the NRHP if they are associated with a _____ event or pattern of events that have made contributions to history at the local, state, or national level. Churches cannot be eligible simply because they were place of worship within a community. Reform Shiloh Missionary Baptist Church was established in new James City after a schism with the Mt. Shiloh Missionary Baptist Church in 1896. This church has consistently served the James City community but was not found to be associated with a _____ event or pattern of events that took place 1950s or 1960s time period. *Therefore, the Reform Shiloh Missionary Baptist Church is recommended not eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. During the course of this study a person of historical associated with the congregation was not *Therefore, the Reform Shiloh Missionary Baptist Church is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. The Reform Shiloh Missionary Baptist Church was built as a modest church in the 1950s. The building has continually undergone changes since it was completed. None of these changes have acquired historical or architectural in and of themselves and these alterations have eroded the physical integrity of the building. The church does not compare well in terms of style and workmanship with James City's Gothic Revival churches, Mt. Shiloh and Jones Chapel. Reform Shiloh Missionary Baptist Church does not embody the distinctive characteristics necessary to convey for its architecture and design under Criterion C. *The Reform Shiloh Missionary Baptist Church is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of the Reform Shiloh Missionary Baptist Church would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Reform Shiloh Missionary Baptist Church is recommended not eligible for the NRHP under Criterion D.*

UNDENOMINATIONAL PENTECOSTAL HOLINESS CHURCH (NCDOT SURVEY #76)

Resource Name	Udenominational Pentecostal Holiness Church
HPO Survey Site #	CV 2637
Location	716 Williams Street, James City
PIN	7-006 -197
Date(s) of Construction	1972
Recommendation	Not Eligible for the NRHP

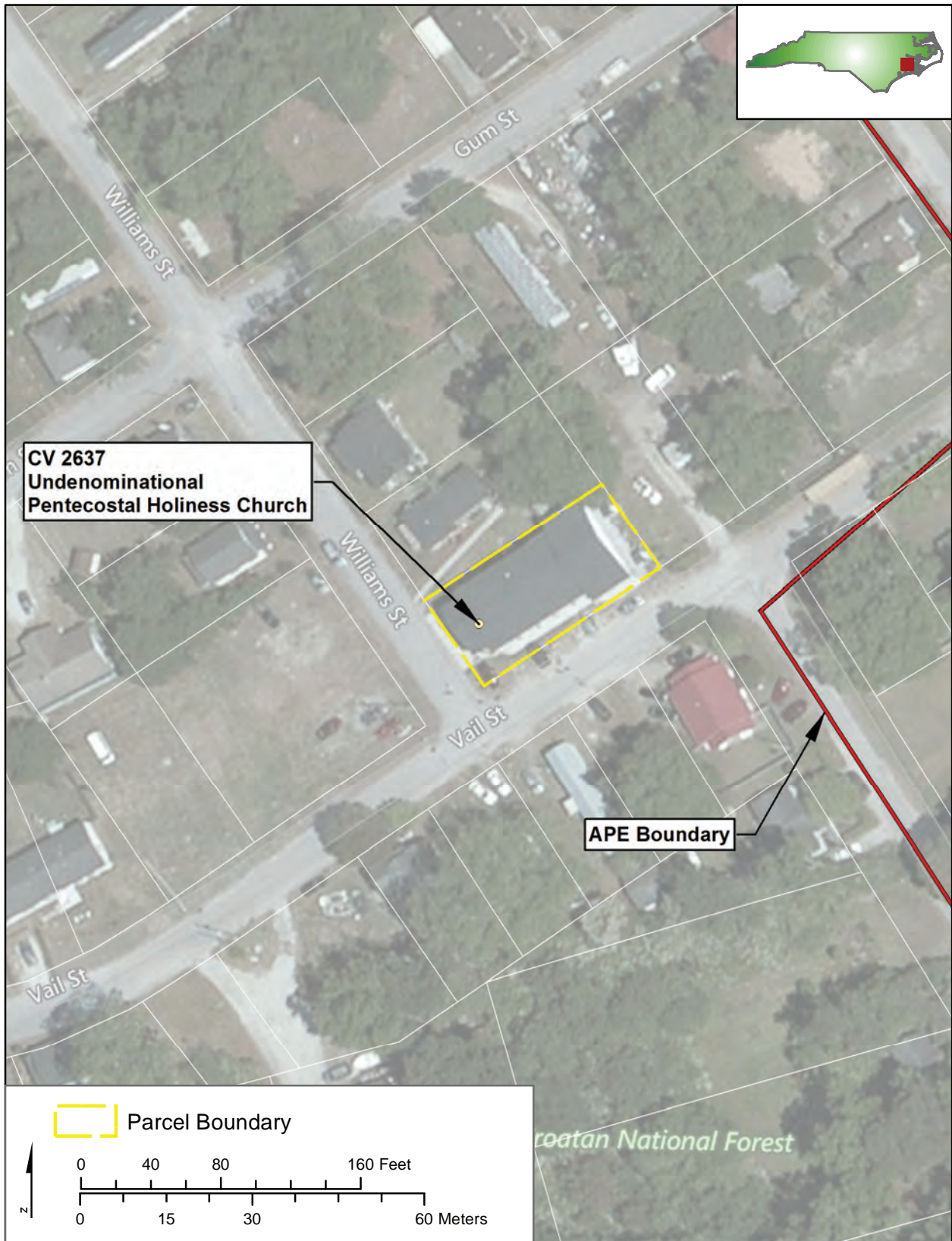


Description

The Udenominational Pentecostal Holiness Church faces southwest at on a 0.16-acre parcel on the east side of the intersection of Williams Street and Vail Street in the Graysville subdivision on the east side of U.S. 70 in James City (Figure 68).

Built in 1972, the Udenominational Pentecostal Holiness Church is a two-story, three-bay rectangular front-gable building with a two-story hipped-roof rear wing (Figure 69). The church is constructed of concrete blocks and embellished with red brick quoins and window headers. On the façade is full-height gabled portico supported by square posts. The porch gable is sheathed with weatherboards. A set of concrete steps rises to the poured concrete porch. The double-leaf doors of the main entry are set in a Colonial Revival surround with pilasters and a dentilated pediment. The rectangular window openings on the front and rear sides have 1/1 metal window sashes (Figure 70). The arched-top windows of the side elevations have three-part metal windows. The roof is covered with asphalt shingles and the foundation is a continuous wall of concrete blocks. The interior was inaccessible.

Figure 68. Undenominational Pentecostal Holiness Church Location and Site Plan



Source: Bing Aerial Photography

Figure 69. Udenominational Pentecostal Holiness Church, Southwest and Northwest Sides



Figure 70. Udenominational Pentecostal Holiness Church, Northeast Side



History

Bishop Willie Grant, Sr. founded the Undenominational Pentecostal Holiness Church in 1957. The church acquired its current parcel in the Graysville section of new James City one year later in 1958 (Craven County Register of Deeds 1958:619). Bishop Wallace Grimes has been the pastor since Bishop Grant's death in 2000. In September 2016, the congregation purchased a circa 1950 automobile dealership at 801 East U.S. 70 Highway. The church will use both buildings after renovations to the U.S. 70 property are completed. There are currently over 300 active church members from across Craven County (Grimes 2016). The church practices the traditions of Pentecostalism but is not part of a larger regional or national denomination.

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. The Undenominational Pentecostal Holiness Church possess all of the aspects of physical integrity in that it remains on its original site and has not undergone changes or additions since it was erected in 1972.

Evaluation

In order for religious properties to be eligible for the NRHP they must meet Criterion Consideration A and derive primary from architecture, artistic distinction or historical importance. Resources less than 50 years of age must Criteria Consideration G and be of exceptional historic importance. The church does not meet Criteria Consideration A or G because it was not found to have under Criteria A, B, C, or D. The Undenominational Pentecostal Holiness Church was built in 1972. The building is not of exceptional architectural nor has it been demonstrated to have played an exceptional role in social or religious history.

Properties can be eligible for the NRHP if they are associated with a event or pattern of events that have made contributions to history at the local, state, or national level. Churches cannot be eligible simply because they were place of worship within a community. The Undenominational Pentecostal Holiness Church was built in the new section of James City in 1972. By this date, the new U.S. 70 had bisected the community and the area was transforming from a cohesive community to more physically fragmented one. This church was not found to be associated with an event or pattern of events took place after its completion in 1972. *Therefore, the Undenominational Pentecostal Holiness Church is recommended not eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. During the course of this study it could not be documented that church founder Willie Grant or any other person associated with the church was to local, state or national history. *Therefore, the Undenominational Pentecostal Holiness Church is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. The Undenominational Pentecostal Holiness Church was built of readily available materials. The builder cleverly used the contrast between these materials, red brick and buff concrete, to suggest decorative elements. While notable, the design and workmanship do not elevate the building to the level of exceptional importance required of resources less than 50 years of age. The church does not embody the distinctive characteristics of any particular style. *For these reasons, Undenominational Pentecostal Holiness Church is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of the Undenominational Pentecostal Holiness Church would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Undenominational Pentecostal Holiness Church is recommended not eligible for the NRHP under Criterion D.*

NEUSE FOREST PRESBYTERIAN CHURCH (NCDOT SURVEY #198)

Resource Name	Neuse Forest Presbyterian Church
HPO Survey Site #	CV 2759
Location	2011 Old Cherry Point Road, James City
PIN	7-016-050
Date(s) of Construction	Circa 1945; 1957
Recommendation	Not Eligible for the NRHP



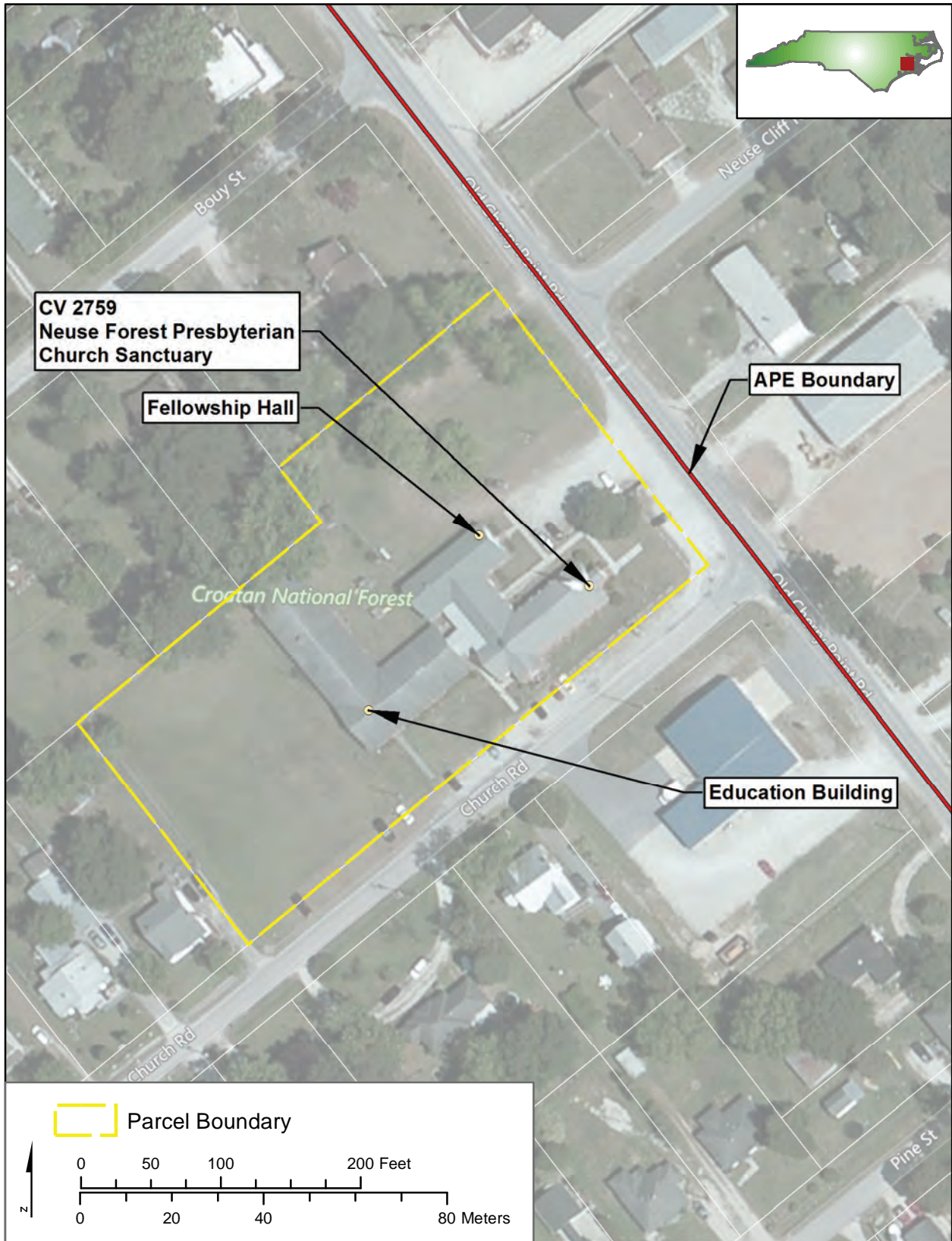
Description

Neuse Forest Presbyterian Church sits on a 2.1-acre parcel on the west side of the intersection of Old Cherry Point Road and Church Road in the Grantham Community (Figure 71). Brinson Elementary School is on the opposite side of Old Cherry Point Road. The building faces northeast and consists of three connected sections: the sanctuary, the fellowship hall, and the education building.

The church’s oldest section was built in the 1920s. It was a frame building now encapsulated within the common bond brick veneered sanctuary and is not readily visible on either the interior or exterior. The sanctuary was expanded and modernized with a brick exterior and rear wings shortly after 1945 at the same time the brick fellowship hall was constructed. In 1957, the education building was built west of the sanctuary.

The sanctuary is a front-gable pedimented building surmounted by attenuated octagonal steeple (Figure 72). A rear cross wing and gabled wing project from the southwest side (Figure 73). The symmetrical façade has a projecting brick entry vestibule gable end returns and a paneled

Figure 71. Neuse Forest Presbyterian Church Location and Site Plan



Source: Bing Aerial Photography

double-leaf doors set under a six-light transom. On each side of the vestibule is 6/6 wood window sash. This sash on is used throughout the sanctuary and fellowship hall. The southeast side of the sanctuary, facing Church Road, has six window bays separated by brick buttresses (Figure 74). At the back of the sanctuary, the cross-gable wing and the wing contain 2/2 wood sash. The fellowship hall is attached to the northwest side of the sanctuary by a connector accessed by a concrete ramp (Figure 75). The connector contains a passage and The 6/6 windows of the connector are paired. The front gabled end of the fellowship hall mimics that of the sanctuary with a fully pedimented roof pent. The trim of the sanctuary and fellowship hall has been covered with vinyl siding. The education building is a gabled one-story, L-plan Modernist-style brick structure that is connected to the rear of the sanctuary by a covered walkway (Figures 76-77). The metal awning windows are arranged in banks of 20 on the sides of the building and banks of 16 across the rear (Figure 75). Between the two southeast side window banks is a decorative brick panel with a cross motif. At the south corner of the education building is an inset porch with brick corner supports and brick lattice wall.

The sanctuary is accessed through the vestibule by a set of double-leaf doors with an elliptical fanlight (Figures 78-79). It is a large rectangular room with a gabled ceiling covered with acoustical tiles. Suspended from the ceiling are non-historic brass chandelier-style lights. The is covered with carpet. A thick chair rail runs under the window openings. Painted pine pews are arranged around a center aisle. Opposite the entrance is a raised altar with paneled lecterns and choir pews.

Figure 72. Neuse Forest Presbyterian Church Sanctuary, Northeast Side



Figure 73. Neuse Forest Presbyterian Church Sanctuary, Southwest Side



Figure 74. Neuse Forest Presbyterian Church Sanctuary, Southeast Side



Figure 75. Neuse Forest Presbyterian Church Fellowship Hall and Connector, Northeast Side



Figure 76. Neuse Forest Presbyterian Church Education Wing, Southeast Side



Figure 77. Neuse Forest Presbyterian Church Education Wing, Southwest Side



Figure 78. Neuse Forest Presbyterian Church Sanctuary to Vestibule



Figure 79. Neuse Forest Presbyterian Church Sanctuary to Altar



History

Neuse Forest Presbyterian Church began in 1916 as a satellite of the First Presbyterian Church of New Bern, established 1817. At the nascent congregation met in a local schoolhouse. Around 1920, T.A. Grantham purchased a small frame building owned by Christ Episcopal Church in the Riverside area of New Bern. A New Bern businessman with land holdings at the new church site, Grantham donated a parcel, had the frame building dismantled, moved, and rebuilt on Old Cherry Point Road. The Neuse Forest Presbyterian Church was formally organized in 1945 as separate from its New Bern parent congregation. A history on the church's website states that around this time or shortly afterwards, the original frame church structure was enveloped within a new and larger brick Colonial Revival-style church building; however, there is no clear physical evidence of the older frame structure in the present church (Neuse Forest Presbyterian Church 2016). The Fellowship Hall was also built around 1945. In 1957, the education wing was built. The church's growth was curtailed by the construction of U.S. 70 in the 1960s and membership continues to decline (Neuse Forest Presbyterian Church 2016). There were 100 members in 1990. In 2013, there were 24 members; 14 members were lost that year (Presbyterian Mission Agency 2016).

Integrity

In order to be individually eligible for the NRHP, a property must possess several, and usually most, of the seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. The 1945 Neuse Forest Presbyterian Church retains integrity in all of these areas. The presence of a circa 1920 building component could not be The church remains on its original location, although setting and overall feeling of the immediate area has transitioned over the years from rural to suburban. The original design, materials and workmanship of the church, fellowship hall and education wing have not been changed since the mid-twentieth century. The church retains its historic associations with the Presbyterian Church U.S.A.

Evaluation

In order for religious properties to be eligible for the NRHP they must meet Criterion Consideration A and derive primary from architecture or artistic distinction or historical importance. Neuse Forest Presbyterian Church does not meet Criterion Consideration A because the resource A, B, C, or D.

Properties can be eligible for the NRHP if they are associated with a event or pattern of events that have made contributions to history at the local, state, or national level. Neuse Forest Presbyterian Church was founded as the rural outreach of a large white Presbyterian congregation in the Craven County seat of New Bern. The church's size and reach peaked in the middle of the twentieth century as is in the building campaign undertaken by the congregation between circa 1945 and 1957. The church was not found to be associated with a event of historic

importance nor was it found to be linked to a pattern of events that took place after its completion circa 1945. *Therefore, the Neuse Forest Presbyterian Church is recommended not eligible for the NRHP under Criterion A.*

Properties can be eligible for the NRHP if they are associated with persons within community, state, or national historic contexts. Neuse Forest Presbyterian Church owes its existence to T.A. Grantham who donated the land and procured the building. Grantham was a New Bern businessman with land holdings and agricultural interests on the Trent-Neuse peninsula in the 1920s-1950s. However, during the course of this study it could not be documented that Grantham was in religious history. No other person was who the Presbyterian church in religious history or life on a local, regional or national level. *Therefore, the Neuse Forest Presbyterian Church is recommended not eligible under Criterion B.*

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or represent the work of a master, or possess high artistic value. Neuse Forest Presbyterian Church is an example of a modest church with restrained Colonial Revival elements, such as a pedimented front steeple and entry treatments with stylized gable end returns. These Colonial Revival design elements visually conveyed permanence and formality. New Bern's status as a colonial city meant that interest in the early American revival styles of architecture, particularly the Georgian, Federal and Greek revivals, was keen. Interest peaked in the 1920s for residential architecture and persisted into the middle of the twentieth century for public buildings such as, commercial buildings, government institutions, churches and schools. Architectural historian Peter Sandbeck wrote that one of the earliest Colonial Revival buildings erected in New Bern was the 1910 Union Station (CV 1682) (Sandbeck 1998:153) (Figure 80). The abandoned train station is a two-story, hipped-roof symmetrical brick building with quoins and a dentil cornice. The 1932-1934 Federal Building, designed by Robert F. Smallwood, is an elaborate Georgian Revival building with an inset colonnade and cupola, parapeted sidewalls and quoins (see Figure 59). The circa 1945 St. Joseph's Catholic Colored Mission (CV 2025) on Bern Street is a brick Colonial Revival Church with full-height cast concrete façade pilasters, a broken pediment entry surround and a three-part belltower (Figure 81). Although it possesses Colonial Revival elements, Neuse Forest Presbyterian Church cannot compare with its more fully expressed Colonial Revival style cousins in New Bern. The church does not embody the distinctive characteristics of the Colonial Revival style nor does it possess high artistic value; it does not represent the work of a master, in fact no architect or builder was. The education wing displays Modernist in the use of banded metal windows, but it cannot be evaluated for the NRHP separate from the main church building. *For these reasons, Neuse Forest Presbyterian Church is recommended not eligible for the NRHP under Criterion C.*

It is unlikely that additional study of this property would yield any unretrieved data not discoverable through informant interviews and documentary sources. *Therefore, the Neuse Forest Presbyterian Church is recommended not eligible for the NRHP under Criterion D.*

Figure 80. Union Station, New Bern



Figure 81. St. Joseph's Catholic Colored Mission, New Bern

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APPENDIX A: JAMES CITY BUILDING INVENTORY

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James City Building Inventory
 TIP No. U-5713; WBS No. 50111.1.FS1; Federal Aid Project No. NHPP-0070(182)

Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
1	CV0396	Pilgrim Chapel Missionary Baptist Church	313 Elder Street	7-006-129	1915*-1958*	brick veneer AME Church	Potentially eligible under A and C; additional study on state study list; potentially eligible under A and C
2	CV1902	Jones Chapel (A. M. E. Zion Church)	513 Elder Street	7-006-019	1915	brick Gothic Revival church	Listed in NRHP; no change recommended
3	CV2050	Mt-Shiloh Missionary Baptist Church	307 Scott Street	7-005-044	1924*	overgrown family cemetery with approx. 10 marked graves	does not possess distinctive features; not eligible should be evaluated with Mt. Shiloh Church. Manse?
4	CV2565	Brooks Family Cemetery	John Street	7-005-027	1900-2008		not individually significant
5	CV2566	House	305 Scott Street	7-005-043	1920	2 story hipped roof 4-square with dormer, hipped porch; vinyl siding and windows.	common type; not individually eligible
6	CV2567	North Carolina Railroad Company		7-RAILRD-NCRR		railroad corridor	common type; not individually eligible
7	CV2568	House	304 Scott Street	7-005-058-A	1920	1 story hipped roof house with dormer; addition on north side; hipped porch with replacement posts. Original siding and windows.	altered; common type; not individually eligible
8	CV2569	House	306 Scott Street	7-005-058-B	1920	1 story hipped roof house with dormer and shed porch. German siding; replacement windows.	common type; not individually eligible
9	CV2570	House	310 Scott Street	7-005-060	1890	2 story L-plan house with hipped roof porch; standing seam metal roof, vinyl siding, original and replacement sash. 2 story porch.	altered; common type; not individually eligible
10	CV2571	House	502 Brown Street	7-005-070	1960	1 story clipped gable roof cinder block house with gable porch; 6/6 windows.	common type; not individually eligible
11	CV2572	House	402 Brooks Drive	7-005-072	1880	L-plan cottage over built circa 1920. Vinyl windows, but original Queen Anne sash under wrap porch. Standing seam metal roof.	altered; common type; not individually eligible
12	CV2573	House	404 Brooks Drive	7-005-073	1930	ruminous frame duplex	poor condition; not individually eligible
13	CV2574	House	406 Brooks Drive	7-005-074	1930	1 story front gable roof frame house with gable porch. Vinyl siding; brick pier foundation; metal roof. Vacant.	common type; not individually eligible
14	CV2575	House	408 Brooks Drive	7-005-075	1945	Minimal Traditional with vinyl siding and brick veneer. L-plan with carport.	common type; not individually eligible
15	CV2576	House	410 Brooks Drive	7-005-076	1950	1 story side gable concrete block house, standing seam roof, attached garage.	common type; not individually eligible
16	CV2577	House	412 Brooks Drive	7-005-077	1955	1 story brick hipped roof Ranch with standing seam metal roof, inset porch.	common type; not individually eligible
17	CV2578	House	414 Brooks Drive	7-005-078	1945	1 story concrete block front gable roof with full width hipped roof porch; standing seam metal roof.	common type; not individually eligible
18	CV2579	House	510 W Maple Street	7-005-088	1940	Shotgun house, standing seam roof, brick piers, Masonite siding, hipped roof porch with asphalt shingles.	common type; not individually eligible
19	CV2580	House	502 W Maple Street	7-006-254	1945	1 story side gable house with standing seam roof. Gabled porch and rear addition. Picture window on front, replacement windows elsewhere. Vinyl siding.	common type; not individually eligible
20	CV2581	House	501 W Maple Street	7-006-049	1945	shed roof porch. Deteriorated.	common type; not individually eligible
21	CV2582	Water Pump	414 Brooks Drive	7-005-078	1920	community water pump	common type and poor condition; not individually eligible
22	CV2583	House	515 Elder Street	7-006-016	1920	1 story bungalow with clipped gable roof; 3/1 windows; asbestos shingle siding; clipped gable porch.	should be evaluated with Jones Chapel AME Zion (CV 1902)
23	CV2584	House	503 Elder Street	7-006-061	1953	1 story gable and wing house with standing seam roof, German siding, original picture window, inset porch.	common type; not individually eligible
24	CV2585	House	502 Elder Street	7-006-058	1910	2 story front gable house with 1 story side wing, wrap hipped porch 2/2 replacement windows, weatherboard siding under vinyl.	altered; common type; not individually eligible
25	CV2586	House	509 Brown Drive	7-006-008	1920	2 story 2 bay house with wrap Craftsman porch, oversized 2/1 windows, bricktex siding, addition on rear.	altered; common type; not individually eligible
26	CV2587	House	503 Brown Drive	7-006-006	1955	1 story front gable vinyl sided house with later brick veneer side addition. Replacement windows and carport addition.	altered; common type; not individually eligible
27	CV2588	House	416 Brown Drive	7-006-043	1960	1 story hipped roof house; 3 part windows, vinyl siding, screened side porch.	common type; not individually eligible

Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
28	CV2589	House	410 Brown Drive	7-006-039	1940	1940 1 story front gable house with shed side wing and hipped roof porch.	common type; not individually eligible
29	CV2590	House	407 Brown Drive	7-005-075-A	1950	1 story gable-and-wing house with standing seam roof. Inset porch with brick supports, weatherboard siding, 6/6 window and front picture window.	common type; not individually eligible
30	CV2591	House	409 Brown Drive	7-005-086	1941	2 story L-plan house, with vinyl siding; hipped roof wrap porch with metal supports on inflated brick pier foundation; replacement windows and front picture window.	altered; common type; not individually eligible
31	CV2592	House	411 Brown Drive	7-005-087	1955	1 story clipped gable roof house with front gable addition on front. Vinyl siding, hipped roof porch with metal supports, standing seam roof.	altered; common type; not individually eligible
32	CV2593	House	609 Dudley Street	7-006-067	1920; 1960	1 story front gable house with brick veneer and replacement windows.	altered; common type; not individually eligible
33	CV2594	House	614 Dudley Street	7-006-069	1945	1 story front gable house with standing seam roof, brick veneer, hipped roof porch. Deteriorated.	poor condition; not individually eligible
34	CV2595	House	615 Dudley Street	7-006-072	1960	1 story hipped roof house with asphalt shingles, partial porch with metal supports, brick veneer, carport addition.	common type; not individually eligible
35	CV2596	House	611 Brown Drive	7-006-251	1965	Brick ranch with gabled porch, original 8/8 windows and bay windows with diamond panes.	common type; not individually eligible
36	CV2597	House	613 Brown Drive	7-006-028	1953	1 story concrete block house with hipped roof. 2/2 vertical sash and picture windows.	common type; not individually eligible
37	CV2598	House	615 Brown Drive	7-006-030	1944	1 story brick flat roofed Modernist house.	The only Modernist house in the "New James City survey area, but not architecturally significant.
38	CV2599	House	620 Brown Drive	7-006-079	1960	1 story side gable house with shed porch, vinyl siding. Handicap ramp. Vacant.	common type; not individually eligible
39	CV2600	House	510 Ford Street	7-006-071	1955	1 story brick front gable house with front gable porch, 2/2 vertical sashes and picture window.	common type; not individually eligible
40	CV2601	House	701 Dudley Street	7-006-078	1945	1 story concrete block house with front gable porch. Vacant.	deteriorated; common type; not individually eligible
41	CV2602	House	611A Brown Drive	7-006-026	1963	1 story front gable house with enclosed front gable porch. Masonite siding.	common type; not individually eligible
42	CV2603	Dixie Fertilizer Plant (TideWater Energy LP Gas)	500 Old Cherry Point Road	7-003-027	1930	Riverside industrial plant anchored by brick Classical Revival office building. Facility includes warehouses, silo, rail spur and wharf.	Last of industrial sites remaining on the Neuse River south of New Bern. Merits additional study.
43	CV2604	House	409 Plum Street	7-006-096	1948	1 story front gable house with hipped porch, partially screened. Vinyl siding and windows.	altered; common type; not individually eligible
44	CV2605	House	502 E US 70 Highway	7-006-097	1951	1 story front gable house with shallow pitched front roof porch. windows, vinyl siding. Other building on site include 2 concrete block fellowship halls.	altered; common type; not individually eligible
45	CV2606	Reform Shiloh Missionary Baptist Church	406 Plum Street	7-006-089	1930	1 story front gable church with gabled portico and pointed arch windows, vinyl siding. Other building on site include 2 concrete block fellowship halls.	Potentially eligible under A and C, additional study
46	CV2607	House	401 Old Cherry Point Road	7-006-085	1950	1 story front gable house with screened hipped porch. Masonite siding; 2/2 vertical sashes.	common type; not individually eligible
47	CV2608	Service Station	510 Old Cherry Point Road	7-006-112	1940	1 story concrete block store with stepped parapet roofline. Vacant and deteriorated.	deteriorated; common type; not individually eligible
48	CV2609	House	312 Elder Street	7-006-250	1948	1 story front gable house with inset porch and shed addition on east side. Vinyl windows and siding.	altered; common type; not individually eligible
49	CV2610	House	606 Williams Street	7-006-135	1910	2 story altered house with hipped and gabled roofline. Aluminum and brick veneer siding; 6/6 original windows; standing seam metal roof.	altered; common type; not individually eligible
50	CV2611	House	518 Williams Street	7-006-123	1937	1 story clipped front gable roof house with gable front porch. Asbestos shingle siding; replacement vinyl windows.	altered; common type; not individually eligible
51	CV2612	House	514 Williams Street	7-006-114	1940	1 story clipped gable roof shotgun with vinyl siding and windows.	altered; common type; not individually eligible
52	CV2613	House	512 Williams Street	7-006-119	1945	1 story Minimal Traditional with engaged porch and 2 front wings.	altered; common type; not individually eligible
53	CV2614	House	503 Vall Street	7-006-127	1955	1 story front gable brick bungalow with later side wings.	altered; common type; not individually eligible
54	CV2615	House	306 Elder Street	7-006-126	1953	1 story clipped front gable roof house with hipped porch, T-111 siding and replacement windows.	altered; common type; not individually eligible

Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
55	CV2616	House	308 Elder Street	7-006-125	1953	1 story front gable house with hipped porch. Vinyl siding and windows.	altered; common type; not individually eligible
56	CV2617	House	309 Elder Street	7-006-137	1920	1 story side gable house with shed porch and rear shed. Vinyl siding and windows.	altered; common type; not individually eligible
57	CV2618	House	301 Elder Street	7-006-139	1955	Brick hipped roof ranch with carport on west side.	common type; not individually eligible
58	CV2619	House	604 Vail Street	7-006-219	1955	1 story concrete block house with hipped roof and front facing gable. Vinyl windows.	common type; not individually eligible
59	CV2620	House	605 Vail Street	7-006-140	1958	1 story front gable concrete block house with shed porch with metal awning. Vacant.	deteriorated; common type; not individually eligible
60	CV2621	House	607 Vail Street	7-006-141	1955	Hipped roof concrete block ranch with small shed addition on south side. Vinyl windows.	altered; common type; not individually eligible
61	CV2622	Hicks Masonic Lodge 789	609 Vail Street	7-006-142	1983* 1948; this building 1983.	1 story concrete block front gable roof Prince Hall Lodge founded 1948; this building 1983.	not 50 years of age
62	CV2623	House	613 Vail Street	7-006-156	1964	Brick hipped roof ranch with vinyl windows. Carport on rear and concrete block guest house.	altered; common type; not individually eligible
63	CV2624	House	619 Vail Street	7-006-159	1968	2/2 vertical wood sashes. Singlewide in rear yard.	common type; not individually eligible
64	CV2625	House	308 James Street	7-006-154	1940	1 story front gable house with additions on each side that extend to roofline. Replacement porch; vinyl siding and windows.	altered; common type; not individually eligible
65	CV2626	House	613 Williams Street	7-006-147	1972	1 story concrete block side gable house with later front wing.	not 50 years of age
66	CV2627	House	612 Williams Street	7-006-150	1945	1.5 story front gable house with side shed dormers and shed porch with brick piers and replacement posts. Vinyl siding and windows.	altered; common type; not individually eligible
67	CV2628	House	310 Foreman Street	7-006-248	1949	1 story side gable concrete block house; stoop porches; picture window.	common type; not individually eligible
68	CV2629	House	308 Foreman Street	7-006-136-A	1945	1 story front gable house with shed porch. Vinyl siding and windows.	altered; common type; not individually eligible
69	CV2630	House	702 Old Cherry Point Road	7-006-146	1953	1 story hipped roof concrete block house with gabled stoop. 3/1 windows, picture window.	common type; not individually eligible
70	CV2631	House	704 Old Cherry Point Road	7-006-144	1965	1 story concrete block house with hipped roof, shed roof porch with turned wood supports, replacement windows.	common type; not individually eligible
71	CV2632	House	710 Old Cherry Point Road	7-006-160	1951	1 story front gable house with side gable wings on north side; asbestos siding, porch gone, concrete block foundation. Fire damage.	deteriorated; common type; not individually eligible
72	CV2633	House	712 Old Cherry Point Road	7-006-161	1942	1 story front gable house with side gable wing and stoop with metal supports. Aluminum siding, brick foundation.	common type; not individually eligible
73	CV2634	House	714 Old Cherry Point Road	7-006-162	1946	1 story front gable brick veneer house with wood paneling in gable ends, 2/2 triplet window and picture window.	common type; not individually eligible
74	CV2635	House	716 Old Cherry Point Road	7-006-163	1950	1 story concrete block house with side gable asphalt roof and front gabled entry. 1/1 replacement windows.	common type; not individually eligible
75	CV2636	House	726 Old Cherry Point Road	7-006-168	1945	1 story front gable house with aluminum siding. Shed porch with metal supports. Metal awnings over south side windows.	common type; not individually eligible
76	CV2637	Udenominal Pentecostal Holiness Church	716 Williams Street	7-006-197	1972*	Deteriorated shed in back.	common type; not individually eligible
77	CV2638	House	714 Williams Street	7-006-196	1960	1 story hipped roof brick veneer house with shed roof porch with metal supports and concrete slab foundation. 2/2 windows.	common type; not individually eligible
78	CV2639	House	712 Williams Street	7-006-195	1947	1 story side gable house with shed roof porch with metal supports. Asbestos siding, concrete block foundation, picture window.	common type; not individually eligible
79	CV2640	House	710 Williams Street	7-006-194	1909	1 story hipped roof with wrap around hipped porch; wing on rear with gabled roof; asbestos siding, replacement windows. Vacant and deteriorated.	deteriorated; common type; not individually eligible
80	CV2641	House	709 Williams Street	7-006-177	1955	1.5 story, front gable house, shed side dormer, 6/6 windows, bay window on façade, asbestos shingle siding. Porch replaced with 2nd story deck.	altered; common type; not individually eligible
81	CV2642	House	711 Williams Street	7-006-178	1950	1 story bungalow with clipped gable roof, hipped roof porch with Craftsman-style supports on brick piers. Vinyl siding, original 3/1 windows.	altered; common type; not individually eligible

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Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
82	CV2643	House	401 Gum Street	7-006-176	1960	1 story side gable Ranch with front gable porch with vinyl in gable. Multiple window types.	altered; common type; not individually eligible
83	CV2644	House	707 Williams Street	7-006-174	1972	1 story hipped roof house with inset porch. Masonite siding. Fire damage.	deteriorated; common type; not individually eligible
84	CV2645	House	703 Williams Street	7-006-171	1950	1 story brick side gable house with front gable wing and screened in porch. 1/1 windows.	common type; not individually eligible
85	CV2646	House	307 James Street	7-006-189	1968	Late 1960s mobile home. One of approx. 20-30 in survey area (this was surveyed as a representative). Shed roof porch with metal supports, 1/1 aluminum sash windows. Unit rests on concrete block foundation.	common type; not individually eligible
86	CV2647	House	711 Vail Street	7-006-201	1950	1 story house with pyramidal standing seam roof, brick veneer, picture window, 6/6 windows, gabled porch with metal supports.	common type; not individually eligible
87	CV2648	House	715 Vail Street	7-006-203	1942	1 story front gable house with side shed addition and hipped porch screened in. Vinyl siding.	altered; common type; not individually eligible
88	CV2649	House	801 Vail Street	7-006-235	1930	1 story front gable house with hipped porch with replacement supports. Vinyl siding and windows. Old water pump in front of house—one of several in survey area.	altered; common type; not individually eligible
89	CV2650	House	909 Vail Street	7-006-213	1950	1 story front gable brick veneer bungalow with gabled porch with wood supports on brick piers. Porch has metal awing. 2/1 windows.	common type; not individually eligible
90	CV2651	House	803 Neuse Drive	7-009-031	1949	1 story side gable house with gabled deteriorated screened porch with wood supports on brick piers. Asbestos shingle siding, 6/6 windows.	common type; not individually eligible
91	CV2652	House	813 Neuse Drive	7-009-037	1940	1 story side gable house with gabled addition on rear, gabled porch, asbestos shingle siding, 8/8 windows, brick foundation. Detached 2 bay garage.	common type; not individually eligible
92	CV2653	House	815 Neuse Drive	7-009-042	1953	1 story side gable house with telescoping north side additions, gabled stoop with ramp. Asphalt shingles, asbestos siding, replacement windows, concrete block foundation.	altered; common type; not individually eligible
93	CV2654	House	817 Neuse Drive	7-009-048	1968	1 story side gable house with asphalt shingles, vinyl siding and windows, picture window. Older frame garage.	altered; common type; not individually eligible
94	CV2655	House	901 Neuse Drive	7-009-064	1940	1.5 story side gable Minimal Traditional house with gabled stoop, asbestos siding, and 6/6 windows.	common type; not individually eligible
95	CV2656	House	303 Edwards Avenue	7-009-062	1955	1 story side gable concrete block storage building with asphalt shingle roof.	common type; not individually eligible
96	CV2657	House	305 Edwards Avenue	7-009-062-A	1963	1 story side gable house with enclosed porch, vinyl siding, concrete block foundation.	altered; common type; not individually eligible
97	CV2658	House	306A Edwards Avenue	7-009-046	1947	1 story side gable house with inset porch. Vinyl siding, 2/2 windows.	altered; common type; not individually eligible
98	CV2659	House	306B Edwards Avenue	7-009-040	1950	1 story side gable house with extended eave overhang sheltering entry. Vinyl siding, picture window. This house is in rear yard of 306 Edwards.	altered; common type; not individually eligible
99	CV2660	House	308 Edwards Avenue	7-009-045	1950	1 story side gable house with asphalt roof, shed roof porch with turned wood supports; vinyl German siding and 2/2 windows. Addition on rear.	common type; not individually eligible
100	CV2661	House	814 Old Cherry Point Road	7-009-039	1950	1 story bungalow with front gable roof, shed roof porch. Vinyl siding. Frame barns adjacent. Difficult to photograph due to distance from public street.	common type; not individually eligible
101	CV2662	House	312 Edwards Avenue	7-009-044	1945	1 story Minimal Traditional with gabled stoop; east side wing with entry stoop, 6/6 windows, vinyl siding. NO PHOTO.	altered; common type; not individually eligible
102	CV2663	House	814 Old Cherry Point Road	7-009-038	1947	1 story side gable house with screened front gable porch. Vinyl siding, 3/1 windows.	altered; common type; not individually eligible
103	CV2664	House	813 Old Cherry Point Road	7-009-015	1950	1 story side gable house with banded metal windows, asbestos siding. Vacant and deteriorated. Sheds on parcel.	deteriorated; common type; not individually eligible

Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
104	CV2665	House	811 Old Cherry Point Road	7-009-014	1886	1 story hipped roof late Greek Revival form cottage. Front hipped roof porch has replacement supports. Rear wing has gable end returns and a shed porch on the south side. Two interior chimneys. Vinyl siding and replacement windows. One of the older dwellings in the survey area.	It is notable that this house's form suggests it may predate others in the survey area and maybe a late 19th c. farm house; however it does not retain sufficient physical integrity to recommend it for phase II study.
105	CV2666	House	812 Old Cherry Point Road	7-009-035	1945	1 story side gable house with gable stoop. asbestos siding. 1/1 windows, concrete block foundation. Additions on side and rear. Gabled shed.	common type; not individually eligible
106	CV2667	House	810 Old Cherry Point Road	7-009-034	1950	1.5 story Cape Cod with 1 bay flat roof entry porch with metal support. Aluminum siding, picture window, replacement 1/1 windows.	common type; not individually eligible
107	CV2668	House	800 Old Cherry Point Road	7-006-206	1960	1 story front gable house with shed porch with wood supports on brick piers. Vinyl German siding. 6/6 replacement windows, brick pier foundation with concrete block in fill.	altered; common type; not individually eligible
108	CV2669	House	903 Vail Street	7-006-209	1950	1 story front gable brick house with side gable screened porch. Vinyl in gable ends. Window type not determined due to awnings. Minimal Traditional with engaged porch. Masonite siding and replacement windows, picture window.	common type; not individually eligible
109	CV2670	House	315 Armstrong Avenue	7-009-068	1957	Hipped roof ranch with carport on east side. Vinyl siding and windows.	altered; common type; not individually eligible
110	CV2671	House	316 Armstrong Avenue	7-009-054	1965	1 story side gable concrete block house with curved corners. Inset side entry porch; original 2/2 vertical sash.	altered; common type; not individually eligible
111	CV2672	House	313 Armstrong Avenue	7-009-069	1965	1.5 story concrete block house with later gambrel roof. 3/1 windows.	common type; not individually eligible
112	CV2673	House	311 Armstrong Avenue	7-009-070	1957	1 story side gable concrete block house with curved corners; newer front gable porch; 2/2 vertical windows. Prefab shed in rear yard.	altered; common type; not individually eligible
113	CV2674	House	312 Armstrong Avenue	7-009-058	1957	1 story hipped roof concrete block ranch with carport on east side.	altered; common type; not individually eligible
114	CV2675	House	309 Armstrong Avenue	7-009-071	1959	1/1 vinyl replacement windows; picture window.	altered; common type; not individually eligible
115	CV2676	House	307 Armstrong Avenue	7-009-072	1958	1 story side gable house with carport on west side. Vinyl siding and 1/1 vinyl replacement windows.	altered; common type; not individually eligible
116	CV2677	House	303 Armstrong Avenue	7-009-075	1955	1.5 story house with shed porch and shed rear addition. Vinyl siding and windows. Windows paired on front.	altered; common type; not individually eligible
117	CV2678	House	904 Neuse Drive	7-010-003	1960	1 story front gable house with partially enclosed shed porch. Vinyl siding and windows.	altered; common type; not individually eligible
118	CV2679	House	1005 Neuse Drive	7-009-080	1960	1 story shed roof house with inset corner porch and triple windows. Vinyl siding.	altered; common type; not individually eligible
119	CV2680	House	1007 Neuse Drive	7-009-081	1960	1 story side gable house with front gable porch; vinyl siding and windows.	altered; common type; not individually eligible
120	CV2681	House	302 Green Springs Road	7-009-103	1955	1.5 story side gable house with hipped porch and later front dormer. Vinyl siding and windows.	altered; common type; not individually eligible
121	CV2682	Cottage House	301 Green Springs Road	7-012-049	1960	Brick Minimal Traditional on hill. Garage attached by hyphen. Original paired 6/6 windows; shed porch.	common type; not individually eligible
122	CV2683	Duplex	303 Green Spring Road	7-012-049	1960	1 story side gable duplex with stoop porches and 6/6 windows.	common type; not individually eligible
123	CV2684	House	309 Green Spring Road	7-012-048	1960	1 story concrete block front gable house with hipped porch with metal posts. German siding in gable; vinyl windows.	altered; common type; not individually eligible
124	CV2685	House	311 Green Spring Road	7-012-047	1940	1 story front gable house with brick veneer and vinyl windows. Shed porch on scrolled metal posts.	altered; common type; not individually eligible
125	CV2686	House	1012 Old Cherry Point Road	7-009-082	1965	1 story side gable house with shingles and inset porch. Small paired 6/6 windows.	common type; not individually eligible
126	CV2687	House	1004 Old Cherry Old Point Rd	7-009-077	1965	Brick Ranch; vertical 2/2 sash, solid door.	common type; not individually eligible
127	CV2688	Carolina East. Realty (House)	317 Armstrong Avenue	7-009-067	1965	Brick Ranch with picture window and some 2/2 windows; some vinyl. Brick wing on south side.	common type; not individually eligible
128	CV2689	House	320 Armstrong Avenue	7-009-052	1965	Minimal Traditional with replacement porch screened with plastic. Vinyl siding and windows. Guest house with carport in rear.	altered; common type; not individually eligible
129	CV2690	House	317 Pender Street	7-012-075	1950	1 story side gable house with recessed entry; 2/2 vertical windows and asbestos shingle siding.	common type; not individually eligible
130	CV2691	House	1200 Old Cherry Point Road	7-012-056	1943	1 story hipped roof house with inset porch; aluminum siding and 3/2 vertical sash windows.	altered; common type; not individually eligible

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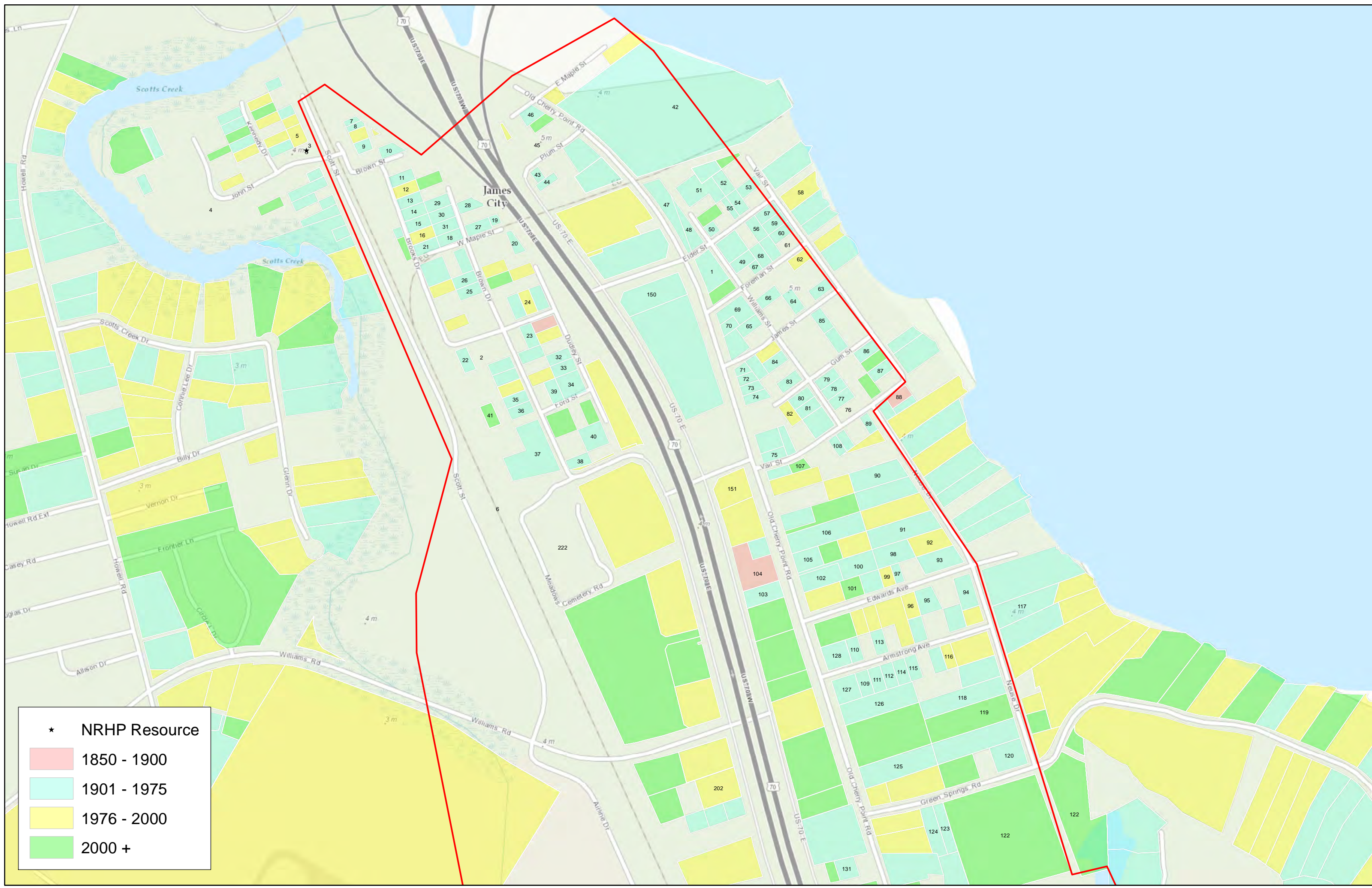
Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
131	CV2692	House	1109 Old Cherry Point Road	7-012-042	1950	1 story hipped roof house with front ramp. Vinyl siding and windows. Altered.	altered; common type; not individually eligible
132	CV2693	House	1203 Old Cherry Point Road	7-012-033	1925	Shotgun with hipped roof porch with turned posts, rear addition, vinyl siding and windows.	altered; common type; not individually eligible
133	CV2694	House	1205 Old Cherry Point Road	7-012-029-B	1950	1 story front gable house with shed porch with rafter tails; paired 6/6 windows, vinyl siding.	altered; common type; not individually eligible
134	CV2695	House	1208B Old Cherry Point Road	7-012-066-A	1940	Patterned brick bungalow with 4/1 windows and gabled porch with replacement posts.	common type; not individually eligible
135	CV2696	Sportsman Barber & Styling Shop (Commercial)	1308 Old Cherry Point Road	7-012-095	1970	Duplex storefront. Built of concrete block, now has later brick store front.	altered; common type; not individually eligible
136	CV2697	Wild Arc Animal Rescue (House)	1312 Old Cherry Point Road	7-012-069	1925	1.5 story asbestos shingle house with hipped roof porch and side garage wing. Asbestos shingle siding, replacement vinyl windows. Now wild animal rescue hospital.	altered; common type; not individually eligible
137	CV2698	Original James City FireHouse (Williams Farm & Garden)	1309 Old Cherry Point Road	7-012-094	1930	Original town fire station now part of garden center. 2 story concrete block with flat roof. Fire bays covered by shed addition.	altered; common type; not individually eligible
138	CV2699	House	310 Selover Avenue	7-012-082	1952	1 story hipped roof house, no porch. Triple and double windows, 6/6; asbestos shingle siding.	common type; not individually eligible
139	CV2700	House	304 Selover Avenue	7-013-021	1954	Hipped roof Ranch with asbestos shingle siding, paired 6/6 windows and picture window. Addition on east side.	common type; not individually eligible
140	CV2701	House	1601 Old Cherry Point Road	7-014-024	1967	Brick ranch with engaged porch and picture widow.	common type; not individually eligible
141	CV2702	House	1603 Old Cherry Point Road	7-014-015	1925	1.5 story bungalow with a gabled dormer and inset porch with battered posts on brick piers. Vinyl siding and windows.	altered; common type; not individually eligible
142	CV2703	House	1611 Old Cherry Point Road	7-015-119	1965	Brick L-plan Ranch with carport on north side. Vinyl windows. 1950s house behind it but could not get photo.	altered; common type; not individually eligible
143	CV2704	House	1613 Old Cherry Point Road	7-015-003	1945	1.5 story front gable house with altered window openings, vinyl siding, altered hipped porch.	altered; common type; not individually eligible
144	CV2705	Service Station	1619 Old Cherry Point Road	7-015-004-A	1965	Brick and glass roadside service station with large garage bay and office. Vacant.	common type; not individually eligible
145	CV2706	Neuse Forest Post Office	1620 Old Cherry Point Road	7-015-017	1967*	Modernist post office. Concrete block with brick veneer and glazed front.	common type; not individually eligible
146	CV2707	House	411 Hoke Street	7-015-008	1960	1 story front gable asbestos shingle house with side carport and altered window opening and replacement windows. Vacant.	altered; common type; not individually eligible
147	CV2708	Duplex	407 Hoke Street	7-015-009	1950	1 story side gable duplex with twin stoop porches; original paired 6/6 windows; aluminum siding over brick?	common type; not individually eligible
148	CV2709	House	404 Hoke Street	7-015-006	1939	1 story clipped front gable house with screened hipped porch with exposed rafter ends; aluminum siding, vinyl windows.	altered; common type; not individually eligible
149	CV2710	House	402 Hoke Street	7-015-005	1959	1 story side gable house made of concrete block. Replacement door and windows. Stoop porch and shed addition on west side.	altered; common type; not individually eligible
150	CV2711	Fidelity Moving & Storage (Warehouse)	600 Elder Street	7-006-109	1972	Windowless brick warehouse with flat roofed office at southwest corner.	common type; not individually eligible
151	CV2712	Tidewater Appliance (Commercial)	800 E US 70 Highway	7-009-013	1940	Altered commercial building with parapet storefront and storage wings. Front has vinyl siding.	altered; common type; not individually eligible
152	CV2713	First Citizens Bank (Commercial)	1600 E US 70 Highway	7-014-022	1965	Brick Colonial Revival commercial building with deck on hip roof and two bay windows. Drive through on east side.	common type; not individually eligible
153	CV2714	House	1708 E US 70 Highway	7-016-025	1965	Side gable brick Ranch with front gable entry porch. Now auto dealer.	common type; not individually eligible
154	CV2715	House	427 Bouy Street	7-016-101	1953	Side gable house with garage attached by hyphen. Aluminum siding and 2/2 vertical sash windows; picture window and stoop porch.	altered; common type; not individually eligible
155	CV2716	House	412 Garner Road	7-020-076	1947	1 story front gable house with hipped roof porch. Original paneled door and 2/2 windows. Aluminum siding.	altered; common type; not individually eligible
156	CV2717	House	425 Bouy Street	7-016-040	1970	1 story concrete block house with hipped roof porch and paired 2/2 vertical sash.	common type; not individually eligible
157	CV2718	House	423 Bouy Street	7-016-041	1960	1 story gable and wing house with vinyl siding and windows.	altered; common type; not individually eligible

Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
158	CV27219	House	406 Bouy Street	7-016-038-A	1925	Patterned brick bungalow with engaged porch supported by battered posts on brick piers; blind dormer. Replacement door and windows.	altered; common type; not individually eligible
159	CV27220	House	407 Bouy Street	7-016-045	1945	Vinyl sided Minimal Traditional with side porch. 6/6 replacement windows. Front gable detached garage.	altered; common type; not individually eligible
160	CV27221	House	404 Bouy Street	7-016-037	1925	1 story front double gable bungalow with original siding and 4/1 windows. Very large addition on west side.	altered; common type; not individually eligible
161	CV27222	House	403 Bouy Street	7-016-047	1945	Minimal Traditional with dormer and enclosed front porch.	altered; common type; not individually eligible
162	CV27223	House	2001 Old Cherry Point Road	7-016-048	1960	Aluminum siding and some 3/1 windows.	altered; common type; not individually eligible
163	CV27224	House	1811 Old Cherry Point Road	7-016-034	1964	Hipped roof brick Ranch with inset porch, 2/2 vertical sash. Newer carpet.	common type; not individually eligible
164	CV27225	House	1809 Old Cherry Point Road	7-016-033	1960	Altered brick side gable Ranch. Replacement windows and enclosed porch on north side.	altered; common type; not individually eligible
165	CV27226	House	1807 Old Cherry Point Road	7-016-032	1965	Ranch with multi-part hipped roofline. Replacement windows.	altered; common type; not individually eligible
166	CV27227	House	1805 Old Cherry Point Road	7-016-031	1965	Hipped roof Ranch with replacement windows and front door. Newer metal roof.	altered; common type; not individually eligible
167	CV27228	House	1801 Old Cherry Point Road	7-016-028	1964	Side gable Ranch with carpet on north side. Original 2/2 vertical sash and picture window.	common type; not individually eligible
168	CV27229	House	403 Church Road	7-016-078	1952	Minimal Traditional with engaged porch. Vinyl siding, paired 6/6 windows. 2 story garage apt in rear.	altered; common type; not individually eligible
169	CV27230	House	405 Church Road	7-016-077	1960	Brick hipped roof Ranch with deck on front. 6/6 windows and picture window.	common type; not individually eligible
170	CV27231	House	407 Church Road	7-016-076	1925	Stuccoed bungalow with inset porch and front dormer. Exposed rafter ends, 3/1 windows and thick square porch posts.	common type; not individually eligible
171	CV27232	House	408 Church Road	7-016-054	1950	1.5 story side gable house with shed enclosed porch. Vinyl siding, replacement 1/1 windows. Deck on front.	altered; common type; not individually eligible
172	CV27233	House	410 Church Road	7-016-055	1960	1 story front gable house with hipped porch, standing seam roof, 1/1 windows, asbestos siding, 2 car carport and deteriorated garage.	common type; not individually eligible
173	CV27234	House	411 Church Road	7-016-074	1950	1 story side gable house with asbestos siding, original 6/6 windows and 1/1 replacement windows; scalloped frieze board; deck on front. Carport in back.	common type; not individually eligible
174	CV27235	House	413 Church Road	7-016-069	1950	1 story front gable house with hipped porch with square supports; vinyl siding, 1/1 replacement windows; addition to rear. Gambrel roof shed.	altered; common type; not individually eligible
175	CV27236	House	414 Church Road	7-016-057	1955	1 story side gable house with enclosed front gable stoop, 1/1 vinyl windows and picture window; aluminum siding and concrete block foundation.	altered; common type; not individually eligible
176	CV27237	House	417 Church Road	7-016-067	1955	1 story side gable brick veneer house with gabled stoop with metal supports. 6/6 windows, picture window. Ramp.	common type; not individually eligible
177	CV27238	House	418 Church Road	7-016-060	1940	1 story side gable house with steep gabled entry bay, side porch, 1/1 vinyl windows, vinyl siding, asphalt shingles, brick foundation.	altered; common type; not individually eligible
178	CV27239	House	419 Church Road	7-016-066	1960	1 story side gable Ranch with vinyl siding and brick veneer, gabled porch with metal supports, picture window. 2/2 windows.	altered; common type; not individually eligible
179	CV27240	House	421 Church Road	7-016-065	1960	1 story gable and wing house with gabled stoop and side wing; aluminum siding, asphalt roof, 9-light fixed picture window and awning sash.	common type; not individually eligible
180	CV27241	House	422 Church Road	7-016-062	1960	1 story side gable house with gabled porch with lattice supports; vinyl siding, 1/1 vinyl windows, picture window, lean-to carport.	altered; common type; not individually eligible
181	CV27242	House	425 Church Road	7-018-028	1961	1 story side gable brick Ranch with vinyl weatherboards in gable ends, picture windows, 2/2 windows, replacement entry door, porch foundation of brick but no porch roof, addition on rear.	common type; not individually eligible
182	CV27243	Advanced Signs (Commercial)	2106 E US 70 Highway	7-018-029	1960	Asbestos sided Quonset hut	common type; not individually eligible
183	CV27244	House	427 Pine Street	7-018-036	1961	1 story hipped roof house with shed roof porch screened, 2/2 windows, siding unknown.	common type; not individually eligible

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184	CV2745	House	416 Pine Street	7-016-070	1957	1 story side gable Ranch with asbestos shingle siding, 2/2 windows. Carport.	common type; not individually eligible
185	CV2746	House	412 Pine Street	7-016-086	1935	1 story brick bungalow with engaged Craftsman porch; most windows sashes missing.	deteriorated; common type; not individually eligible
186	CV2747	House	408 Pine Street	7-016-084	1956	1 story side gable telescoping Ranch with aluminum siding, entry awnings, picture window and paired 6/6 sash.	common type; not individually eligible
187	CV2748	House	406 Pine Street	7-016-083	1965	1 story hipped roof concrete block house with gabled stoop, paired vinyl replacement windows. Yellow!	altered; common type; not individually eligible
188	CV2749	House	404 Pine Street	7-016-105	1964	1 story hipped roof concrete block house with gabled stoop, paired 2/2 metal windows with awnings.	common type; not individually eligible
189	CV2750	House	2105 Old Cherry Point Road	7-016-081	1955	1 story flat roof concrete block Modernist house with large fixed panel windows, front chimney, stone veneer accent.	One of 2 Modernist houses in the project survey area, but not architecturally significant.
190	CV2751	House	2107 Old Cherry Point Road	7-016-082	1955	1 story hipped roof concrete block house with a gabled stoop, picture window, 1/1 replacement windows.	altered; common type; not individually eligible
191	CV2752	House	2201 Old Cherry Point Road	7-017-005	1940	1 story front gable house with hipped porch with metal supports on brick piers, aluminum siding, original 4/7 windows. Ramp.	common type; not individually eligible
192	CV2753	House	2209 Old Cherry Point Road	7-017-007	1925	1.5 story patterned brick bungalow with inset porch and gabled dormer. Asbestos shingles in gable ends. Craftsman details include battered porch posts on brick piers, exposed rafter ends. Windows boarded up.	Possibly teacherage associated with Brinson Memorial Elementary School on east side of Old Cherry Point Rd. recommend additional study.
193	CV2754	House	407 E Grantham Road	7-018-093	1940	1 story front gable house with hipped porch with wood supports; original 3/1 windows, standing seam roof, vinyl siding.	altered; common type; not individually eligible
194	CV2755	House	409 E Grantham Road	7-018-085	1950	1 story side gable house with gabled porch with metal supports; vinyl siding and windows.	common type; not individually eligible
195	CV2756	House	418 E Grantham Road	7-018-042	1940	1.5 side gable patterned brick bungalow, standing seam roof, 4/1 windows, brackets in eaves. brick porch supports with arched ends, stuccoed balustrade and foundation.	common type; not individually eligible
196	CV2757	House	420 E Grantham Road	7-018-043	1959	1 story hipped roof house with T-111 siding and front entry deck and side porch; paired 2/2 windows, concrete block foundation.	altered; common type; not individually eligible
197	CV2758	House	423 E Grantham Road	7-018-052	1955	1 story side gable house with flat roof porch with metal supports, rear shed; metal roof, vinyl siding, vinyl 1/1 windows, concrete block foundation. Big concrete block garage in rear (no photo).	altered; common type; not individually eligible
198	CV2759	Neuse Forest Presbyterian Church	2011 Old Cherry Point Road	7-016-050	1955	Brick front gable Colonial Revival church with projecting gabled entrance vestibule, octagonal steeple, original 6/6 windows, brick buttresses. Matching fellowship hall connected by hyphen to north side; to rear in Modernist education wing.	common type; not individually eligible
199	CV2760	House	424 Hart Drive	7-020-007	1962	Hipped roof brick Ranch with carport and entry porch with Chippendale balustrade at west end. Replacement windows and door. Slab chimney.	altered; common type; not individually eligible
200	CV2761	House	417 Hart Drive	7-020-015	1960	Front gable house with enclosed side carport; vinyl siding and windows.	altered; common type; not individually eligible
201	CV2762	House	412 Hart Drive	7-019-003	1963	Brick and wood side gable 3- part Colonial Revival Ranch. Attached garage with cupola at east end.	common type; not individually eligible
202	CV2763	Craven Animal Hospital	1003 E US 70 Highway	7-009-008	1960	Buff brick Ranch with low side gable roof. Canopy entry, planter and stone wall on facade. Windows replaced.	altered; common type; not individually eligible
203	CV2764	House	1105 E US 70 Highway	7-012-016	1950	1 story front gable concrete block house with shed porch and German siding in gables. Vacant and deteriorated.	deteriorated; common type; not individually eligible
204	CV2765	House	1121 E US 70 Highway	7-012-018-A	1945	1 story front gable house with hipped roof altered porch. Vinyl siding and windows.	common type; not individually eligible
205	CV2766	House	1203 E US 70 Highway	7-012-020	1955	1 story front gable dwelling. Vinyl siding. Abandoned and very deteriorated.	deteriorated; common type; not individually eligible
206	CV2767	House	1207 E US 70 Highway	7-012-022	1963	1 story front gable house with inset porch and wing on south side. Vacant and deteriorated.	deteriorated; common type; not individually eligible
207	CV2768	Commercial Garage	1211 E US 70 Highway	7-012-093	1960	5 bay flat roof concrete block commercial garage with vinyl siding.	altered; common type; not individually eligible
208	CV2769	Craven Pawn (House)	2005 E US 70 Highway	7-016-008	1955	1 story stuccoed concrete block side gable altered dwelling. Now commercial.	altered; common type; not individually eligible

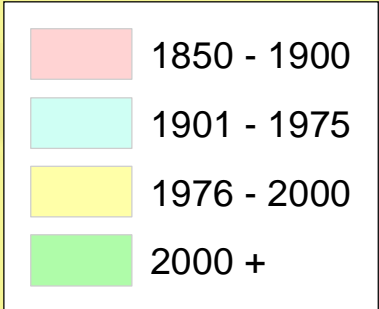
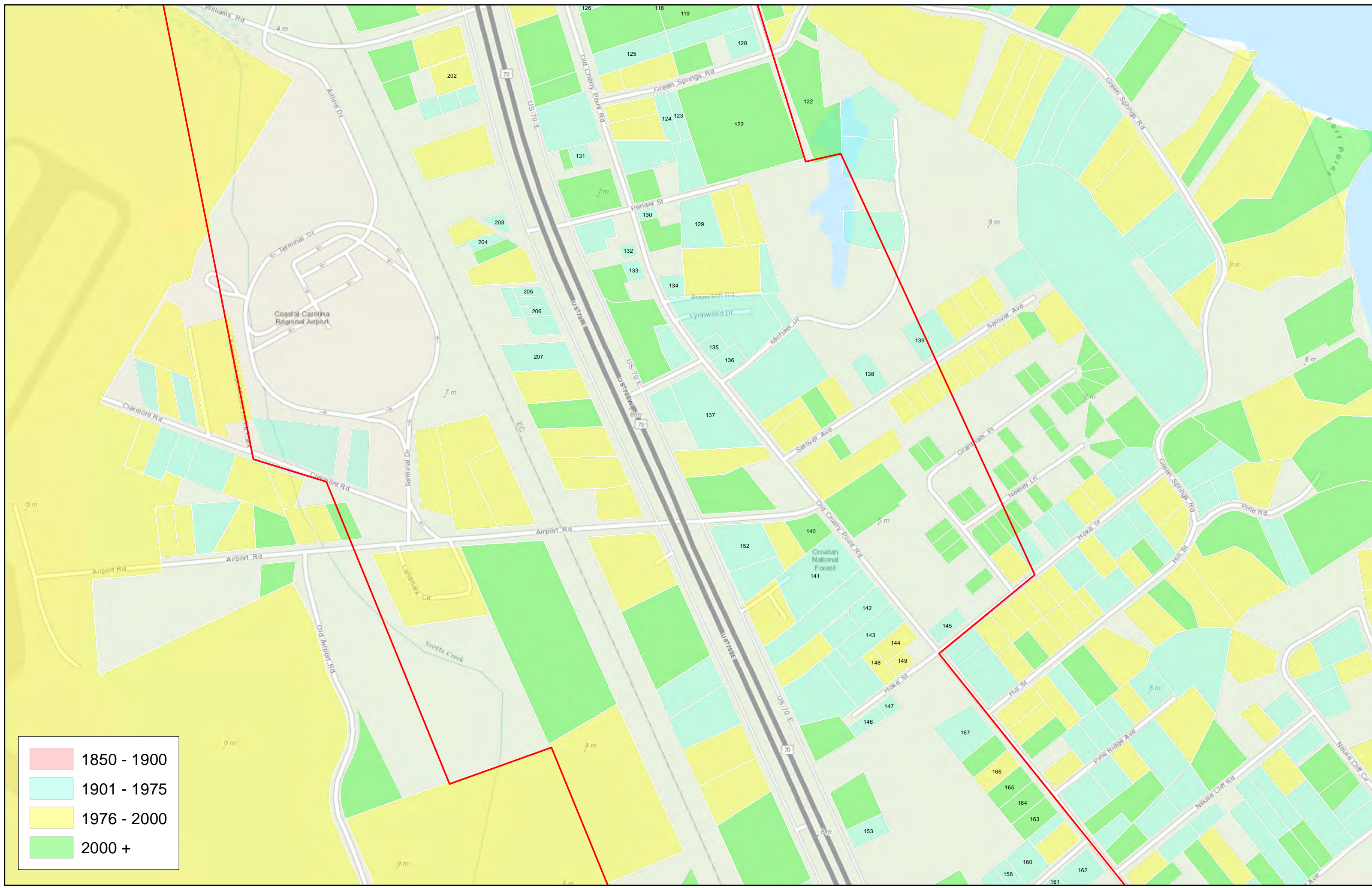
Resource Number	Survey Site #	Name	Address	Parcel #	Date (circa, unless indicated by *)	Description	NRHP status/ recommendation
209	CV2770	House	503 Bouy Street	7-016-007	1955	1 story front gable concrete block house with wing on east side. Picture window under front gable porch. Vinyl windows. 2 bay garage.	altered; common type; not individually eligible
210	CV2771	House	505 Bouy Street	7-016-006	1946	1 story cross gable house with aluminum siding and 2/2 vertical sashes. Stoop porch with foliated metal posts. Attached carport and 2 sheds.	altered; common type; not individually eligible
211	CV2772	House	502 Church Road	7-018-004	1950	Side gable vinyl covered Ranch with breezeway and 1 bay garage on east side. Inset porch has picture window and windows are replaced.	altered; common type; not individually eligible
212	CV2773	House	504 Church Road	7-018-003	1958	Altered hipped roof. Ranch with vinyl siding and windows. Metal carport on west side.	altered; common type; not individually eligible
213	CV2774	House	505 Church Road	7-018-083	1940	1 story front gable house with projecting eaves, vinyl siding and windows. 2 bay garage at rear.	altered; common type; not individually eligible
214	CV2775	House	507 Church Road	7-018-007	1970	1 story altered concrete block house with hipped roof. Front entry has been relocated to east side addition. Metal carport covers driveway.	altered; common type; not individually eligible
215	CV2776	Neuse Forest Upholstrey (Commercial)	2107 E US 70 Highway	7-018-011	1940	2 story frame metal covered warehouse. Abandoned and deteriorated concrete block service station to north.	deteriorated; common type; not individually eligible
216	CV2777	House	503 Pine Street	7-018-013	1970	2 story house with deck on hip roof, 2/2 metal sash, Masonite siding. Vacant.	deteriorated; common type; not individually eligible
217	CV2778	House	503 W Grantham Road	7-108-005	1945	Extremely altered vinyl sided house with many additions and modernizations.	altered; common type; not individually eligible
218	CV2779	House	505 W Grantham Road	7-108-006	1966	Concrete block side gable Ranch with carport on east side and addition on west. Inset porch on columns; picture window and 2/2 vertical sash.	common type; not individually eligible
219	CV2780	Comfort Air of New Bern (Commercial) Pamlico Marine & Trailer	2301 E US 70 Highway	7-018-024	1962	Flat roof concrete block commercial building with projecting front office.	common type; not individually eligible
220	CV2781	(Commercial)	2601 E US 70 Highway	7-020-002	1970	Metal double gabled commercial building with brick store fronts.	altered; common type; not individually eligible
221	CV2782	Service Station	506 Garner Road	7-022-001	1970	Metal storage sheds in rear fenced yard.	common type; not individually eligible
222	CV2783	Meadows Cemetery	Brown Drive and Meadow Ct	7-009-102	1886-2016	3 bay shed roof concrete block abandoned service station. African American community cemetery established in 1886. Not known to be affiliated with any particular church. Marker materials include concrete, marble, metal funeral home markers, military forms include slabs, tablets and vaults; enclosure types are brick and block enclosures. The cemetery was named in honor of a white New Bern citizen (Meadows) who aided the community during the Depression.	common type; not individually eligible

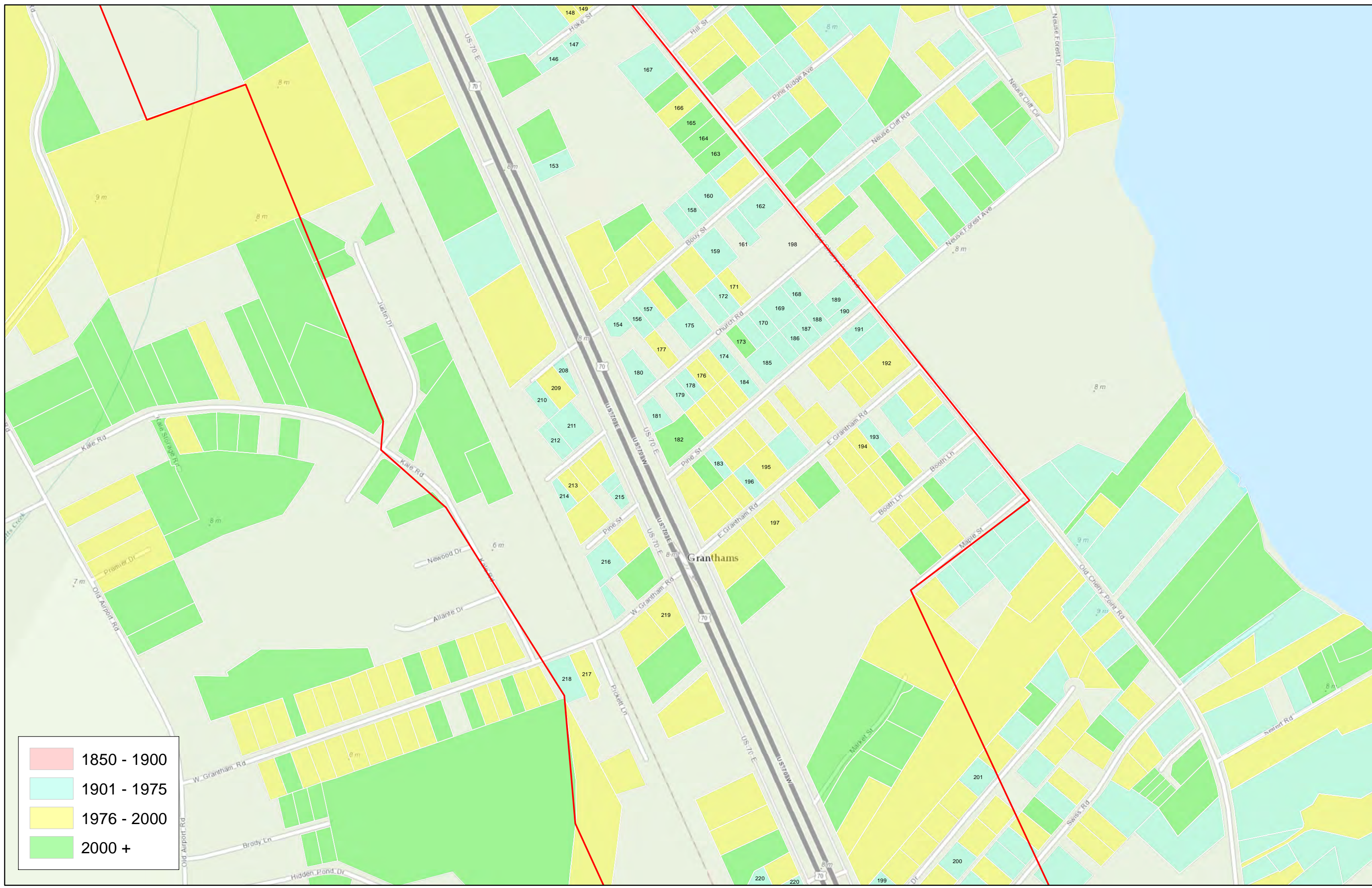
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




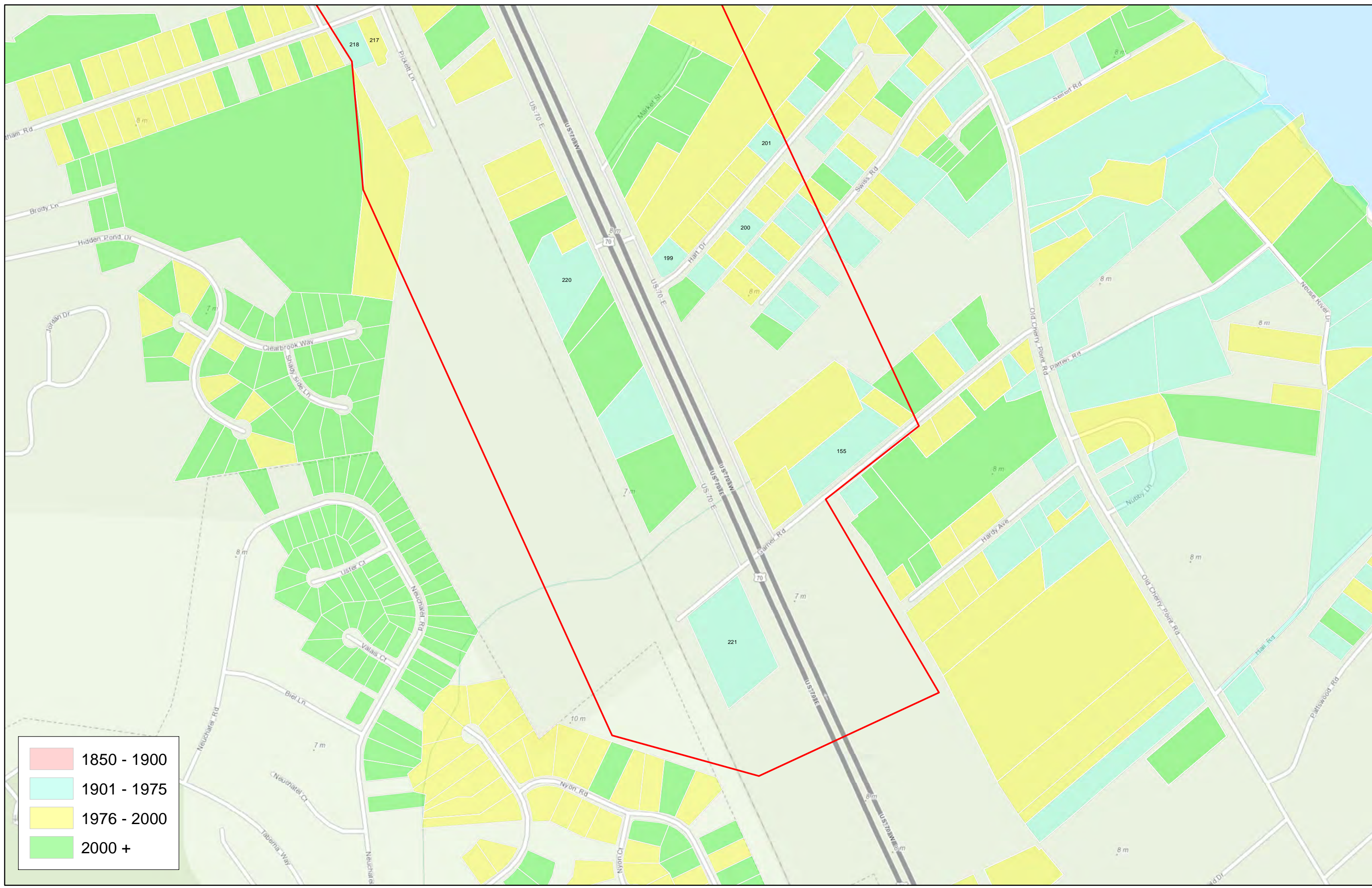
★ NRHP Resource

	1850 - 1900
	1901 - 1975
	1976 - 2000
	2000 +





	1850 - 1900
	1901 - 1975
	1976 - 2000
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